



Township of Southgate Committee of Adjustment

Application for Minor Variance

Fees Effective January 1, 2023
By-law 2022-180

Instructions:

This is an application under Section 45 of the Planning Act, 1990, R.S.O. c.P. 13 as amended, for relief, as described in this application, from Zoning By-law 19-2002 (as amended).

- Please check all applicable boxes and answer all applicable questions
- Failure to provide adequate, correct information may result in your application being refused
- All measurements must be in metric units. (Imperial Units will not be accepted)
- Additional information may be attached if necessary
- Incomplete applications will be returned
- The Township reserves the right to ask for more information or clarification pertaining to this application at a later time
- Applications are not accepted without the required fees: \$1,400 application plus \$145 sign fee and if required, \$190 SVCA fee in cash or by cheque made payable to the Corporation of the Township of Southgate.

For office use only:

File No. A-6-23

Pre-Consult _____ Date: _____

Date received: Dec 13, 2023

Accepted by: _____

Roll #42 07 060-004-08920

Conservation Authority Fee

Required: Yes

Official Plan: Rural/EP/W

Property's Zone: A1/EP/W

Other Information: _____

It is a requirement that any potential applicant pre-consult with the Planning Department pursuant to by-law 66-2012 prior to submitting any planning application, for the initial pre consultation meeting, please provide a drawing or sketch of your proposal accompanied by a written description.

The Approval Authority is the **Township of Southgate Committee of Adjustment** Required Fees:

Pre-Consultation Fee	\$ 500.00 due prior to the application being submitted
Application Fee	\$ 1400.00 due with submitted application
Public Notice Sign Fee	\$ 145.00
Conservation Authority Fees	
Saugeen Valley CA	\$190.00
Grand River CA	Contact directly for details

PAID

Note on fees:

The application fees were adopted and approved under the Township of Southgate's Fee's and Charges By-law and will only be accepted once the application is deemed complete by the Township of Southgate Planning Department.

All required application fees shall be paid in cash or by cheque made payable to the Township of Southgate at the time of submission of the application.

Please review the required Conservation Authority fees prior to submitting your application. Saugeen Valley Conservation Authority requires their fee to be submitted to the Township of Southgate along with this application. Make this payment out to the Saugeen Valley Conservation Authority.

In the event that all fees are not paid in full at the time of submission, the application shall be deemed incomplete.

1. Name of Owner/Applicant (circle one) * Jim Junken

Address 492310 Southgate Sec 49, Holstein

Postal Code N06 2A0 Telephone Number _____

***See Note 1**

2. Name of Agent* _____

Address _____

Postal Code _____ Telephone Number _____

**** See Note 2**

3. Nature and extent of relief applied for: Accessory Structure

4. Why is it not possible to comply with the provisions of the by-law? Attaching

to Existing Building, which is 10m off boundary

5. Legal description of subject land (registered plan number and lot number or other legal description, and, where applicable, street and street number):

RP 16R10081 (Part 2)

Conc. 14, Pt Lot 10 Twp of Southgate

6. Dimensions of land affected in metric units:

Frontage: ~~138~~ 138.7m Area: 8.9 Hectare

Depth: 401.7m Width of Street: _____

7. Particulars of all buildings and structures on or proposed for the subject land (specify, in metric units) the ground floor area, gross floor area, number of storeys, width, length, height, etc.):

Existing: 10.36m (W) 12.192m (L) 3.96(H)

Single Storey Shed with 126.3 m² Floor Area

Proposed: 10.36m (W) 18.28m (L) 6.55 (H)

Single Storey Accessory Building with 621m² Floor Area

8. Location of all buildings and structures on or proposed for the subject land (specify distance from side, rear and front lot lines):

Existing: 36' (10.97m) from Side, 292m (960') from Rear
317' (96.6m) from Front

Proposed: 36' (10.97m) from Side, 901' (274.6m) from Rear
357' (108.8m) from Front

9. Date of acquisition of subject land: September 1, 2023

10. Date of construction of all buildings and structures on subject land:
November 2023

11. Existing uses of the subject property:
Agriculture

12. Existing uses of the abutting properties:

North: Agriculture East: Bush / Agriculture

South: Residential / Agriculture West: Agriculture

13. Length of time the existing uses of the subject property have continued:

Still continue

14. Water is provided to the subject land by a:

☐ publicly owned and operated piped water system

☒ privately owned and operated individual or communal well

☐ lake or other water body or other means (please explain)

15. Sewage disposal is provided to the subject land by a:

☐ publicly owned and operated sanitary sewage system

☒ privately owned and operated individual or communal well

☐ privy or other means (please explain)

16. Storm drainage is provided by (check applicable):

Sewers: ☐ Ditches ☒ Swales: ☐

Other means (please explain) _____

17. Present Official Plan designation on the subject lands: Rural, Hazard, Wetlands

18. Present Zoning By-law provisions applying to the land: A1, EP, W

19. Has the subject land ever been the subject of an application for minor variance (under Section 45 or its predecessor of the Planning Act)

Yes ☐ No ☒

If the answer is yes, describe briefly (i.e. date of application, file number, nature of relief, etc.)

20. Is the subject property the subject of a current application for a plan of subdivision or consent under Section 51 or 53 of the Planning Act?

Yes ☐ No ☒

Sketch Instructions:

Each copy of this application must be accompanied by a sketch or survey showing the following:

- (i) The boundaries and dimensions of the subject land.
- (ii) The location, size and type of all existing and proposed buildings and structures on the subject land, indication the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- (iii) The current uses and location of all existing buildings and/or structures on the adjacent lands. (indicate the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines).
- (iv) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- (v) The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- (vi) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- (vii) The location and nature of any easement affecting the subject land.

21. Owners authorization and declaration:

Authorization for agent

I/we _____
(print name or names)

authorize _____
(print name of agent)

to act as our agent(s) for the purpose of this application.

(Signature of Owner) (date)

(Signature of Owner) (date)

22. Owners authorization for access:

I/we Tim JUNICEN
(print name or names)

hereby permit Township staff and its representatives to enter upon the premises during regular business hours for the purpose of performing inspections of the subject property.

(Signature of Owner) (date) Dec. 12/2023

(Signature of Owner) (date)

23. Affidavit or sworn declaration :

Note: This Affidavit must be signed in the presence of a Commissioner of Oaths.

I/ (We) Jim Junker
Name of Owner(s) or Authorized Agent or Applicant

of the Township of Southgate in the County of Grey
city/town/municipality county/region

Solemnly declare that all statements contained in this application and all the information provided is true, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the CANADA EVIDENCE ACT.

Declared before me at the:

Township of Southgate in the County of Grey
city/town/municipality county/region

This 13 day of December, 20 23

Signature of Owner

Date

Dec 13/23

Signatures of Owner

Date

Signature of Commissioner

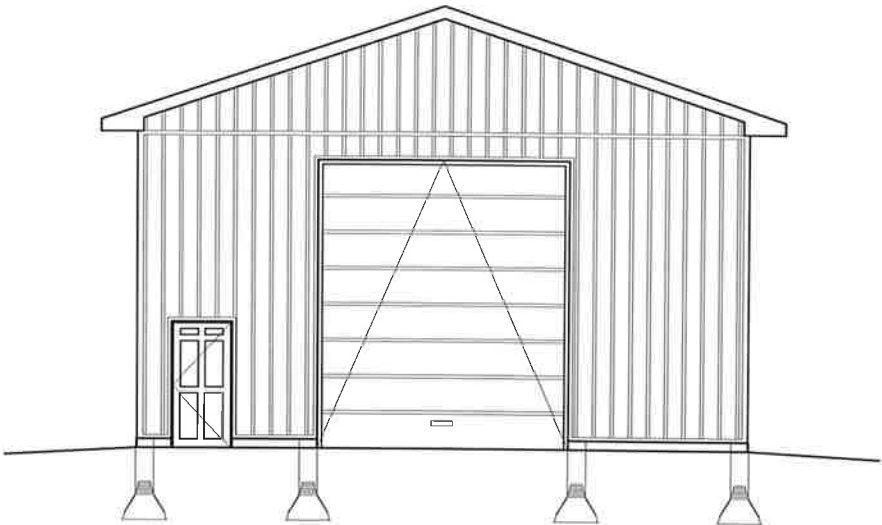
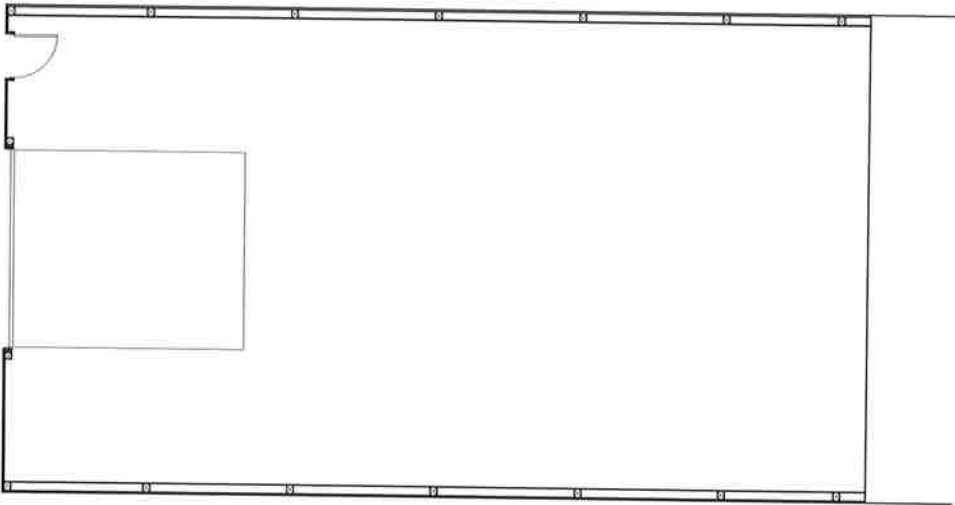
Date

December 13, 2023

Elsna Milne, a Commissioner, etc.,
Province of Ontario, for The Corporation of
the Township of Southgate, County of Grey.

JIM JUNKER

ACCESSORY STORAGE ADDITION



SHEET INDEX	
TP	TITLE PAGE
0.1	GENERAL NOTES
1.0	PLANS
2.0	SECTIONS
3.0	ELEVATIONS
4.0	DETAILS

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PROJECT NORTH

PROJECT LOCATION
492210 Southgate S80 49
Southgate, Ontario

PROJECT
Storage Addition
CLIENT
J. JUNKER
DRAWING
GENERAL NOTES

DRAWN
MAD
DATE
Dec. 10, 23
SCALE
AS NOTED
FILE
23-017
REV No.
0.02

0.1

GENERAL NOTES:

- OCCUPANCY: ACCESSORY STORAGE
- NOTE ALL DRAWINGS TO BE READ TOGETHER
- ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF FOUNDATION WALLS AND WALL BLOCK.
- ALL WORK TO CONFORM TO O.B.C 2012
- GROUND LOADS BASED ON: MOUNT FOREST, $S_s = 2.7$ kPa, $S_r = 0.4$ kPa
- WIND PRESSURE: $1/10 = 0.32$ kPa ; $1/50 = 0.41$ kPa
- ROOF DEAD LOAD = 0.6 kPa
- FLOOR LIVE LOAD = 1.9 kPa
- DEGREE DAYS = 4700 (ZONE 1)
- FOUNDATIONS SHALL BEAR ON SOIL CAPABLE OF SAFELY SUPPORTING 75 kPa (1567 psf) - PREPARED & FORMED FOOTINGS SHALL BE INSPECTED BY BUILDING OFFICIAL PRIOR TO POURING CONCRETE. NOTIFY THE DESIGNER IF POOR SOIL CONDITIONS ARE ENCOUNTERED.
- 10.1. HIGH WATER TABLE: BOTTOM OF EXCAVATION SHALL BE AT LEAST +/-18" ABOVE THE KNOWN WATER TABLE TO MAINTAIN SOIL BEARING CAPACITY, IF LESS THAN 12" SOIL BEARING CAPACITY IS REDUCED BY 50% [9.4.4.3], AND FOOTINGS SHALL BE ADJUSTED IN ACCORDANCE WITH [OBC: 4.2]
- CONCRETE WALLS & FOOTINGS SHALL BE MINIMUM 20 MPa c/w 5-6% AIR ENTRAINMENT
- FLOORS SHALL BE MIN. 25 MPa
- GARAGE FLOOR AND EXTERIOR CONCRETE MIN 32 MPa C-2 EXPOSURE
- ALL FOOTINGS SHALL BE PROTECTED AGAINST FROST ACTION BY AT LEAST 48" OF SOIL, OR ACCEPTED ALTERNATIVE MEANS.
- ALL CONCRETE WORK SHALL CONFORM WITH CAN/CSA-A23.1-M90
- REINFORCING STEEL SHALL CONFORM WITH CSA G30.12-M
- ALL REINFORCING STEEL - $f_y = 400$ MPa
- ALL REBAR TO HAVE 2" CLEAR COVER
- ALL REBAR SPLICES MIN. 2' LONG
- PRE-ENG SYSTEMS SHALL BE DESIGNED AND ENGINEERED BY THE MANUFACTURER AND SUBMITTED TO THE DESIGNER & BUILDING DEPARTMENT.
- RESERVED
- RESERVED
- FOUNDATIONS & SUBLFOOR TO BE DIMENSIONALLY ACCURATE & LEVEL TO WITHIN 1/8" OVERALL.
- STRUCTURAL STEEL SHALL COMPLY WITH CAN/CSA - S16.1-94.
- FABRICATORS TO BE QUALIFIED IN ACCORDANCE WITH CLAUSE 24.3.
- STRUCTURAL STEEL TO COMPLY WITH CSA G40.12-M, GRADE 300 W FOR ROLLED SECTIONS & PLATES, GRADE 340W-CLASS 'C' FOR H.S.S. SECTIONS.
- BOLTED CONNECTIONS - A325 BOLTS.
- USE E480XX ELECTRODE FOR ALL WELDS.
- WELDING TO BE DONE BY QUALIFIED WELDERS TO CSA-W59.
- PROVIDE LINTELS AND HEADERS AS REQUIRED AS PER OBC PART 9.
- ALL LUMBER No 2 S-P-F OR BETTER.
- LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE-TREATED.
- NOTIFY BUILDING OFFICIAL FOR FRAMING & INSULATION/VAPOUR BARRIER INSPECTION PRIOR TO COVERING UP.
- MFG. OF PRE-ENGINEERED ELEMENTS TO PROVIDE COPIES TO DESIGNER AND BUILDING DEPARTMENT AS PART OF THE BUILDING PERMIT APPLICATION
- SMOKE DETECTORS SHALL BE INSTALLED AND INTERCONNECTED AS PER [9.10.19]
- DWELLING UNIT VENTILATION AS PER [9.32]

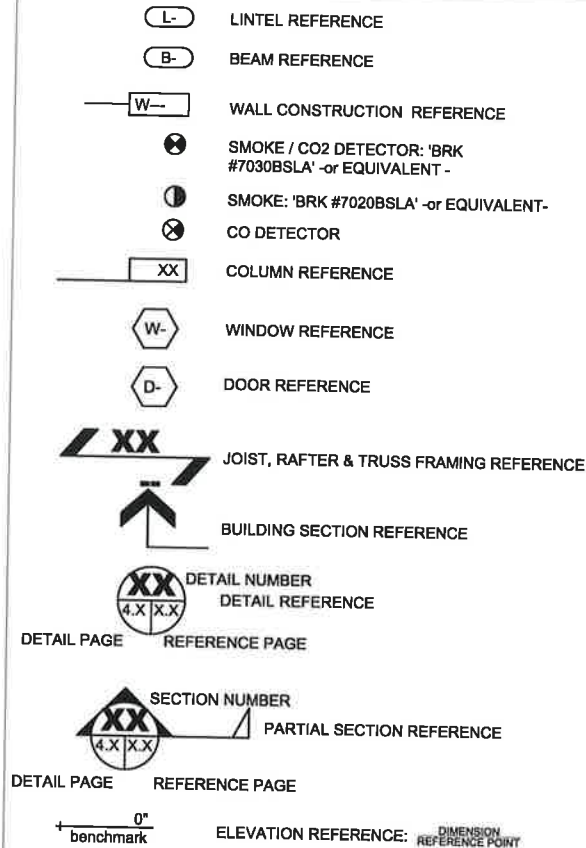
SPECIFIED DESIGN SNOW LOAD [9.4.2.2]

$S = C_b * S_s + S_r$

$S = .55 * 2.7 + 0.4$

$S = 1.88$ kPa (39.4 psf)

LEGEND



FOOTING SCHEDULE

FOOTINGS

MARKER	SIZE
F248SR	24"x8"
F303010PR	30"x30"x10"
F242412PR	24"x24"x12"
BF24	24"dia

REINFORCING
-2- RUNS 15M CONT.
-3- 15M @w
-2- 15M @w
BIGFOOT FOOTING FORM

- CONCRETE TO BE 20mPa
- REBAR TO HAVE 400mPa MINIMUM YIELD STRENGTH
- REBAR SPLICES TO BE 25 1/2" FOR 15M & 17 1/2" FOR 10M
- DESIGNATIONS: 'S' = STRIP, 'P' = PAD, 'R' = REINFORCED, 'TS' = THICKENED SLAB

PIERS

MARKER	SIZE	REINFORCING
P1	12"dia	

CONSTRUCTION SCHEDULES

WALLS

- W101 WALL CONSTRUCTION:
- 29ga. COLOURED METAL SIDING
 - TYPAR BUILDING WRAP
 - 5/8" PLYWOOD WALL SHEATHING
 - 6"x8" SPF#2 POSTS (SPACING PER PLAN)
 - 2"x4" SPF#2 STUDS @24"o.c BETWEEN POSTS

ROOF

- R101 ROOF CONSTRUCTION:
- 29ga. COLOURED METAL ROOFING
 - ROOFING UNDERLAY
 - 5/8" PLYWOOD ROOF SHEATHING
 - PRE-ENG ROOF TRUSSES, LOCAL SNOW LOADING, WEB BRACING AS PER MFG. 24"o.c.
 - OPTIONAL PLASTIC BIRD SCREEN

FLOOR

- F101 FLOOR CONSTRUCTION:
- 4" GRANULAR GROUND COVER

AERIAL GIS PLAN of
492310 Southgate SRD 49
CONCESSION 14, Pt LOT 10
RP:16R10081 (Part 2)
(Formerly Egremont Twp.)
TOWNSHIP OF SOUTHGATE
COUNTY of GREY



INCLUDES MATERIAL @ 2020 OF THE QUEEN'S PRINTER FOR ONTARIO, ALL RIGHTS RESERVED

SITE PLAN

SCALE: 1" = 80'-0"

1.0	DRAWN	MAD
	DATE	Dec. 10, 23
	SCALE	AS NOTED
	FILE	23-017
	REV No.	0.02

PROJECT	Storage Addition
CLIENT	J. JUNKER
DRAWING	FOUNDATION PLAN

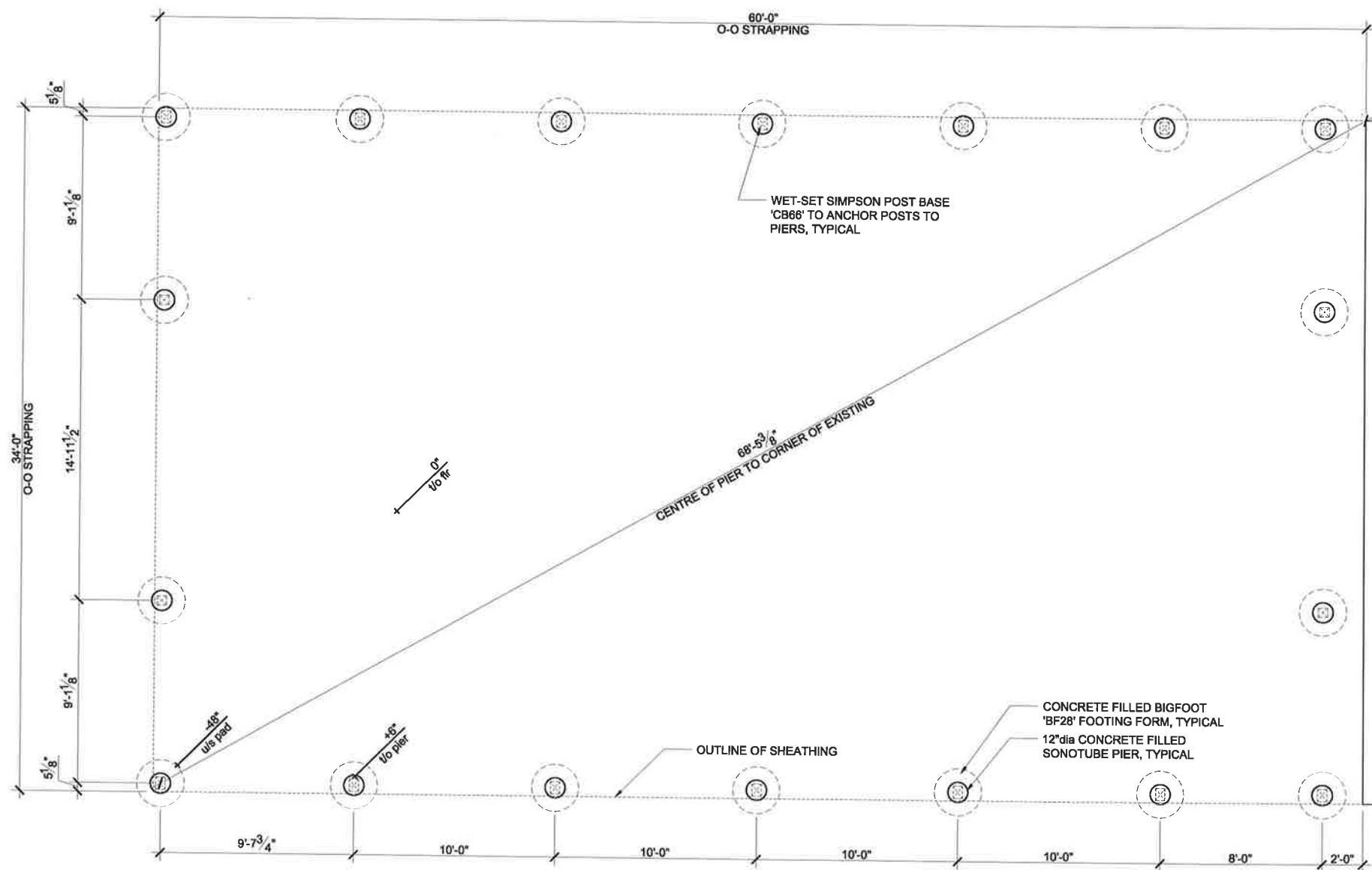
PROJECT LOCATION	492310 Southgate SRD 49
	Southgate, Ontario

PROJECT NORTH	
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AXIAL
DESIGNS

031393 Sideroad 5, RR#2
Ayrton, Ontario

519-865-7570
mark.axialdesigns@gmail.com



PIER PLAN

SCALE: 3/16" = 1'-0"

EXISTING

AXIAL
DESIGNS

031383 Silvercreek S. Rd #2
Ayrton, Ontario
519-686-7570
mark.axialdesigns@gmail.com

REGISTERED
ONTOARIO DESIGNER
AXIAL DESIGNS
Mark Axial, P. Eng.
Member of the
Professional Engineers
Association of Ontario
P. Eng. No. 23, 25

PROJECT NORTH

PROJECT LOCATION
492310 Southgate SRD 48
Southgate, Ontario

PROJECT
Storage Addition

CLIENT
J. JUNKER

DRAWING
FOUNDATION PLAN

DRAWN
MAD

DATE
Dec 10, 23

SCALE
AS NOTED

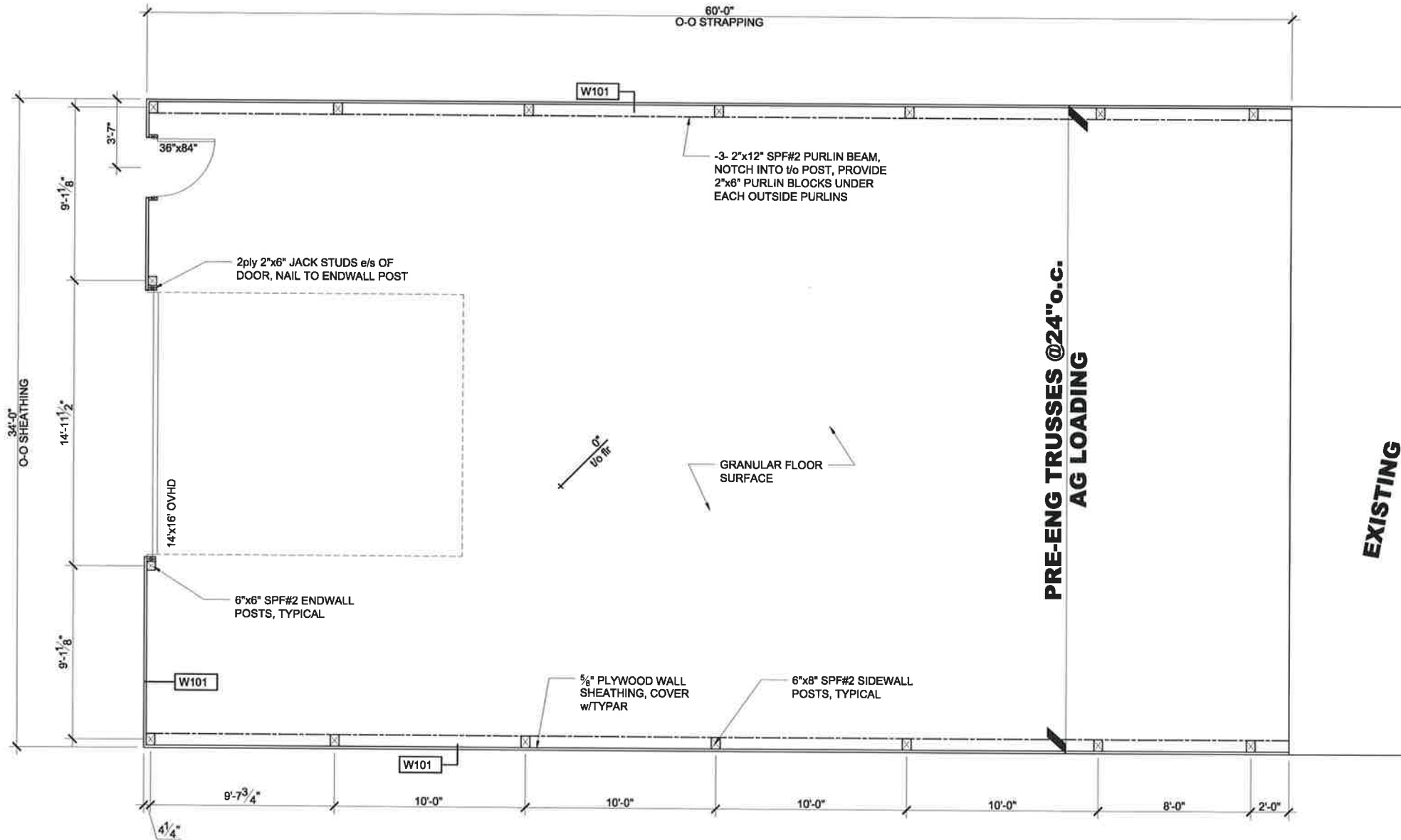
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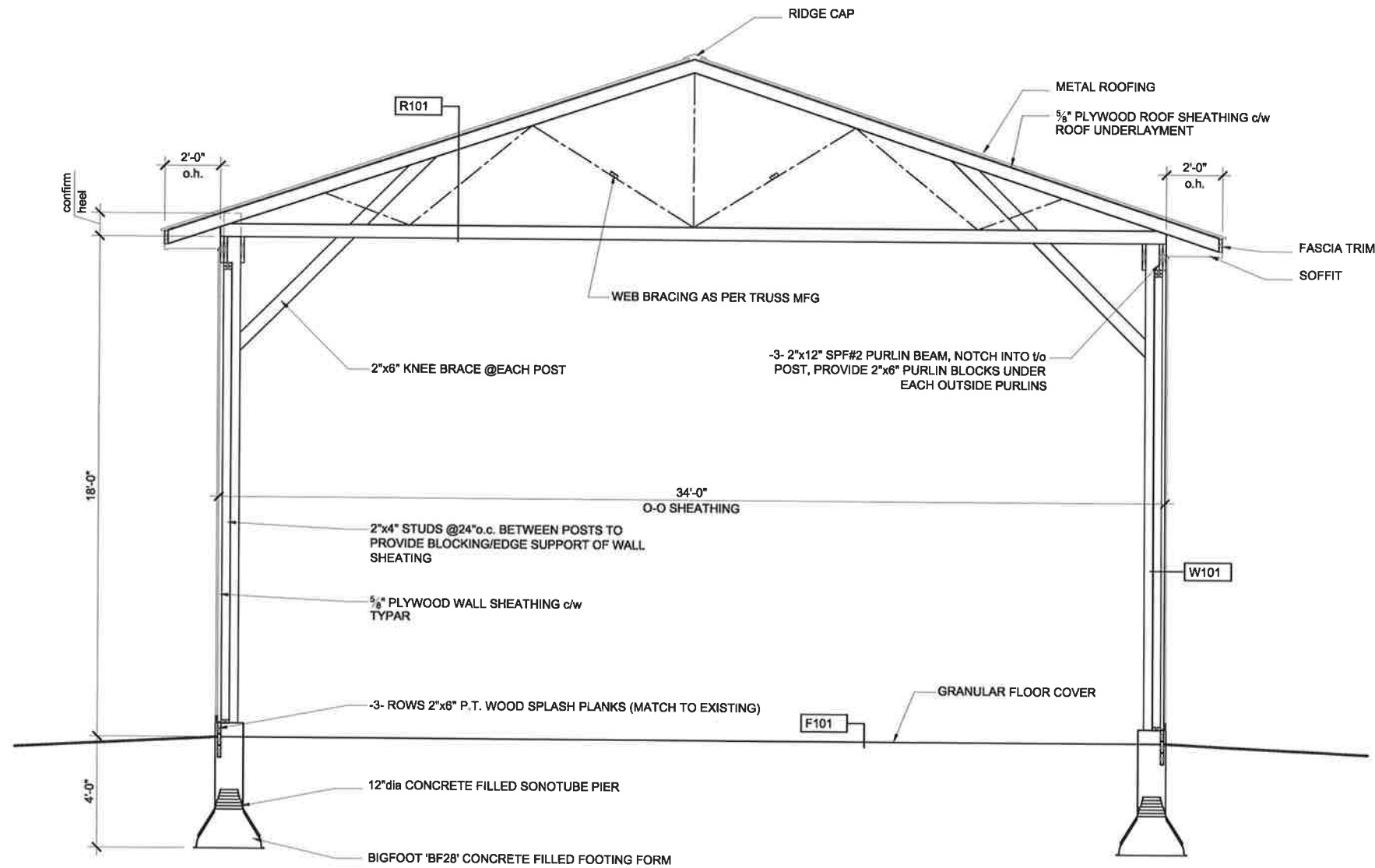
REV No.
0.02

1.0

FLOOR PLAN

SCALE: 3/16" = 1'-0"





TYPICAL SECTION

SCALE: 1/4" = 1'-0"



PROJECT NORTH

PROJECT LOCATION
482318 Scudigeris SRD 48
Scudigeris, Ontario

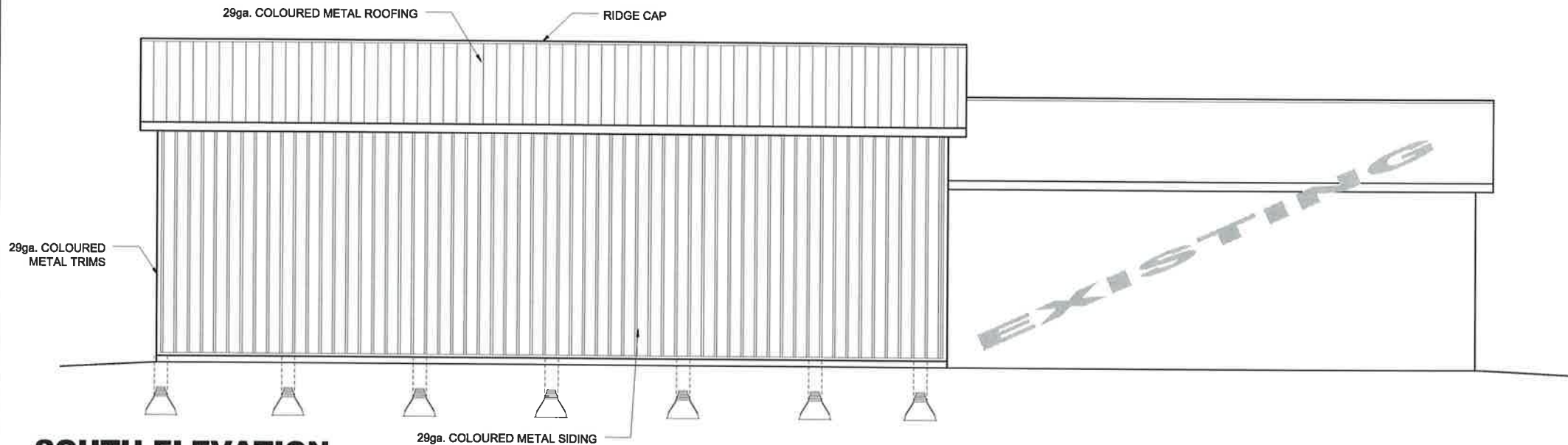
PROJECT
Storage Addition

CLIENT
J. JUNKER

DRAWING
SECTION

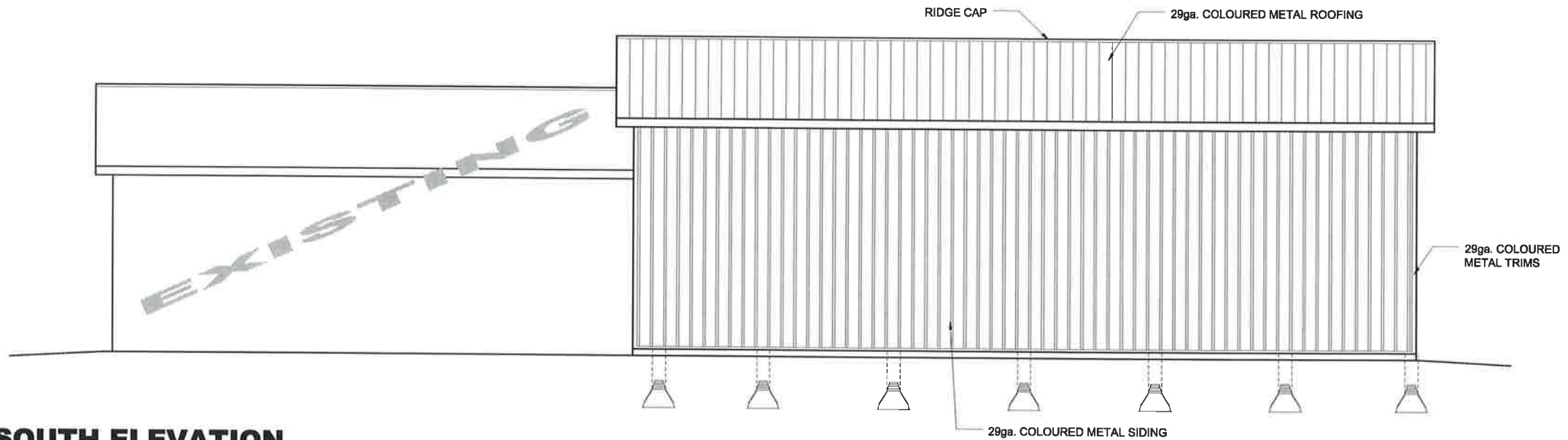
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DATE	Dec 10, 23
SCALE	AS NOTED
FILE	23-017
REV No.	0.02

2.0



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

**AXIAL
DESIGNS**
031-303 Silverwood 5, RR#2
Ayrton, Ontario
519-685-7570
mark.axialdesigns@gmail.com



PROJECT NORTH

PROJECT LOCATION
4822310 Southgate 3RD 49
Southgate, Ontario

PROJECT
Storage Addition

CLIENT

J. JUNKER

DRAWING

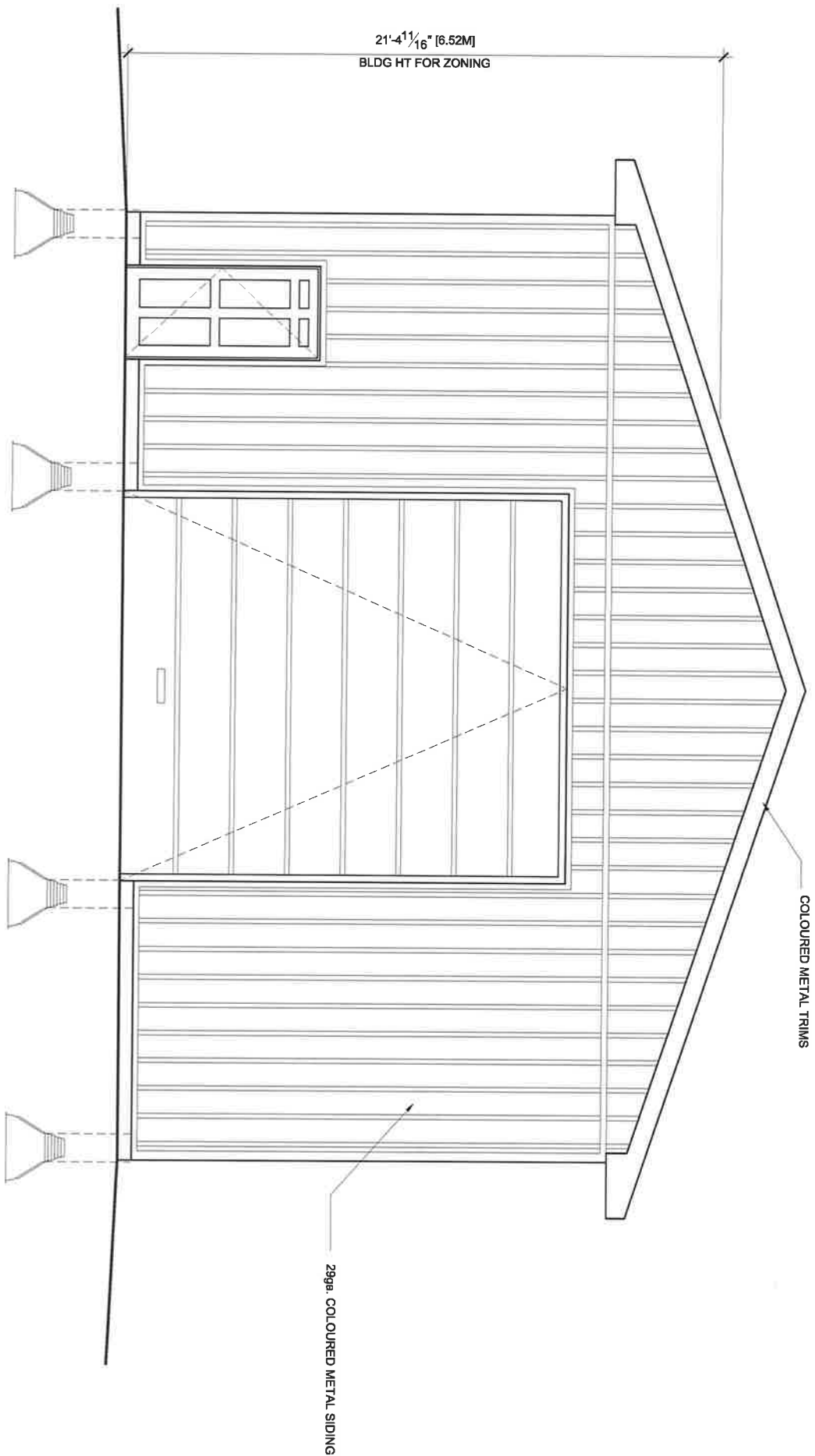
ELEVATIONS

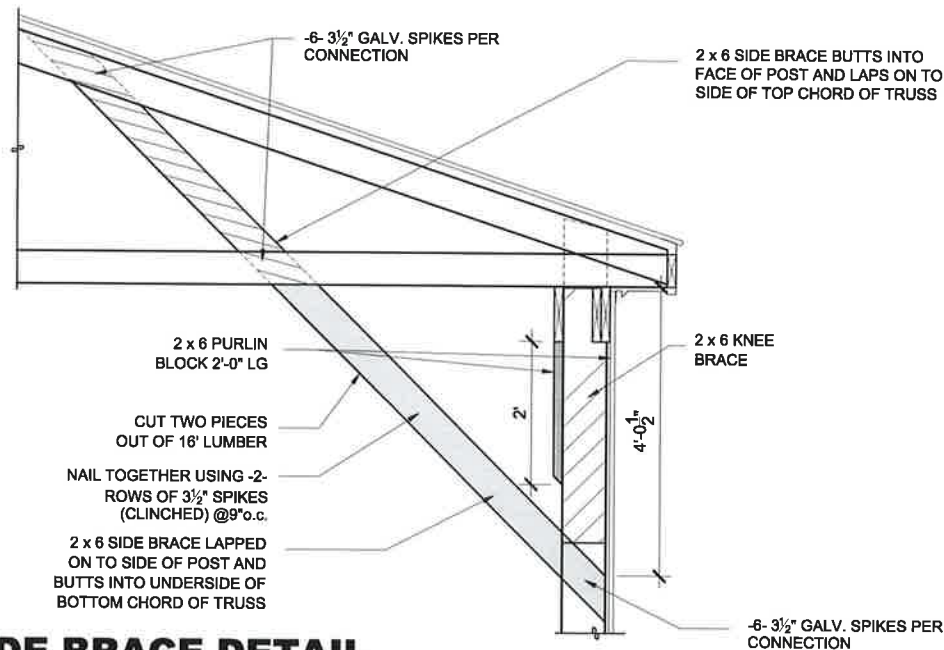
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DATE	Dec. 10, 23
SCALE	AS NOTED
FILE	23-017
REV No.	0.02

3.0

WEST ELEVATION

SCALE: 1/4" = 1'-0"

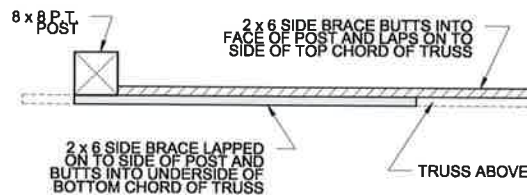




SIDE BRACE DETAIL

SCALE: 1/2" = 1'-0"

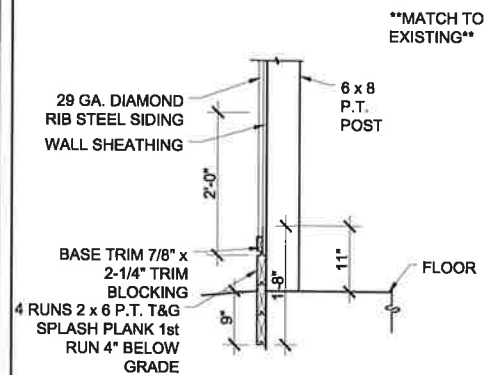
ELEVATION



SIDE BRACE DETAIL

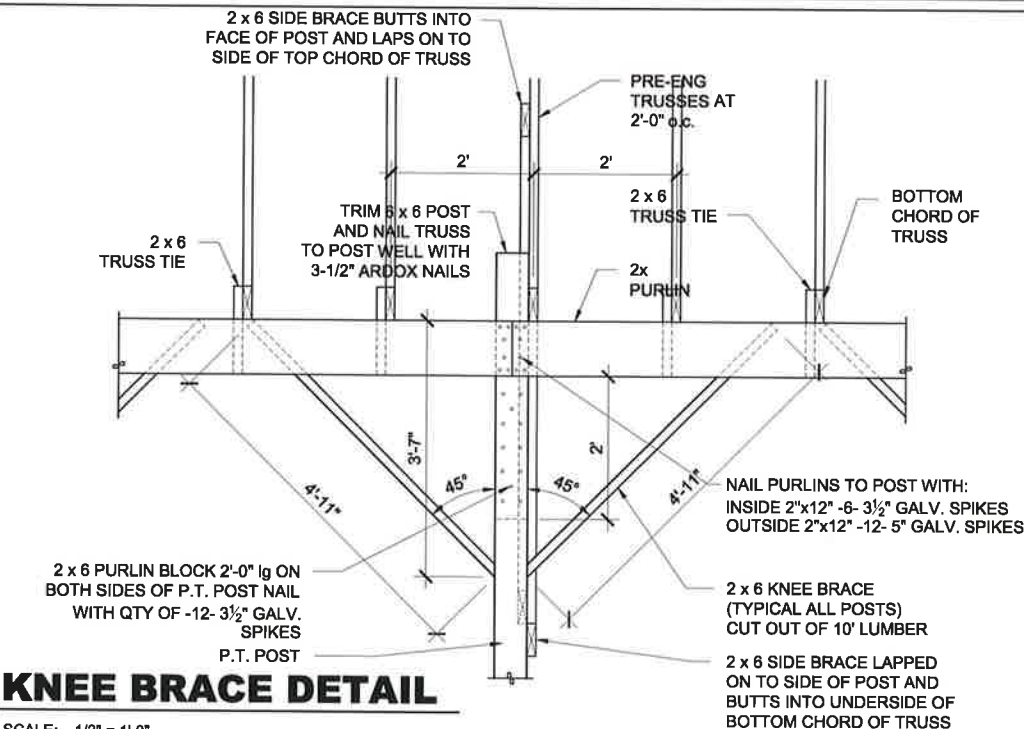
SCALE: 1/2" = 1'-0"

PLAN VIEW



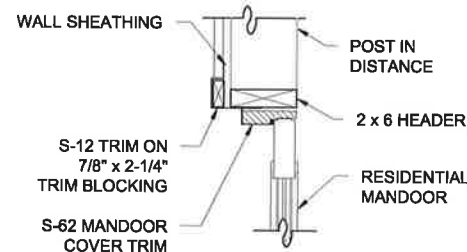
BASE DETAIL

SCALE: 1/2" = 1'-0"



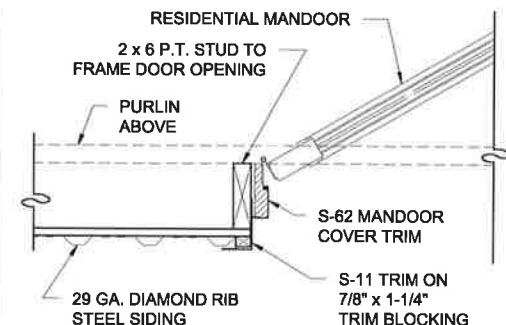
KNEE BRACE DETAIL

SCALE: 1/2" = 1'-0"



MANDOOR HEAD

SCALE: 1" = 1'-0"



MANDOOR JAMB

SCALE: 1" = 1'-0"

**AXIAL
DESIGNS**

601393 Steeles Rd. E., #100
Ayr, Ontario

519-885-7570
mark.axialdesigns@gmail.com



PROJECT NORTH

PROJECT LOCATION
4022310 Steeles Rd. E. #100
Ayr, Ontario

PROJECT
Storage Addition

CLIENT

DATE

SCALE

FILE

REV No.

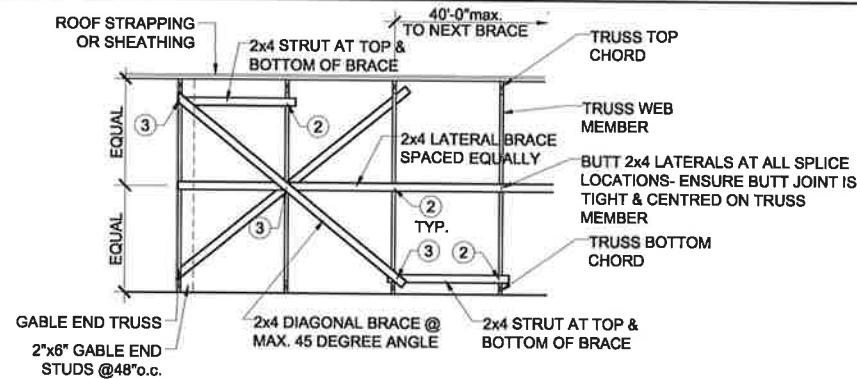
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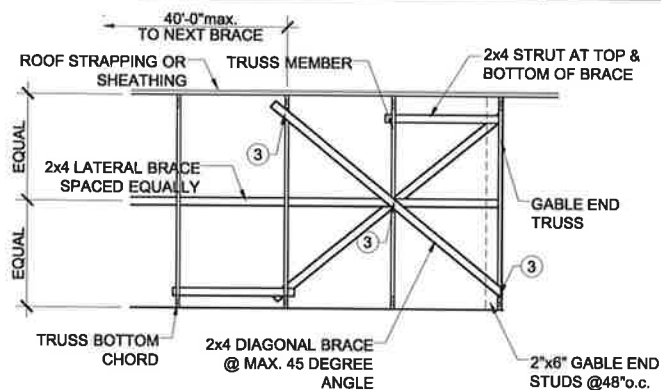
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J. JUNKER

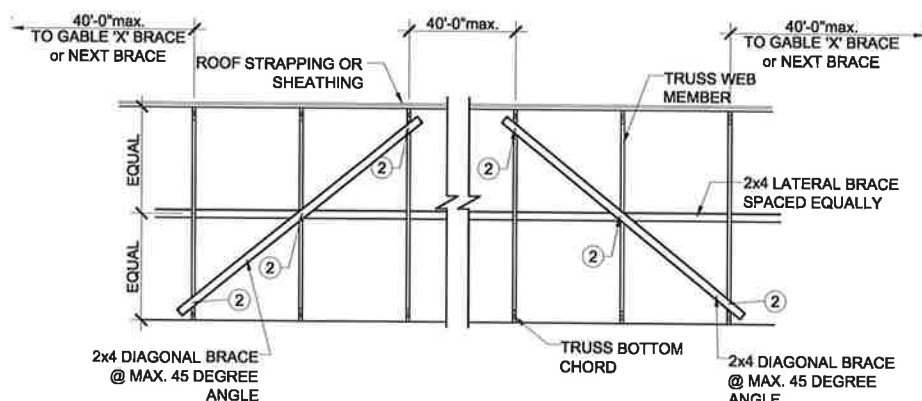
DRAWING
DETAILS



GABLE ENDS SNOW X-BRACING (FRONT ELEVATION)



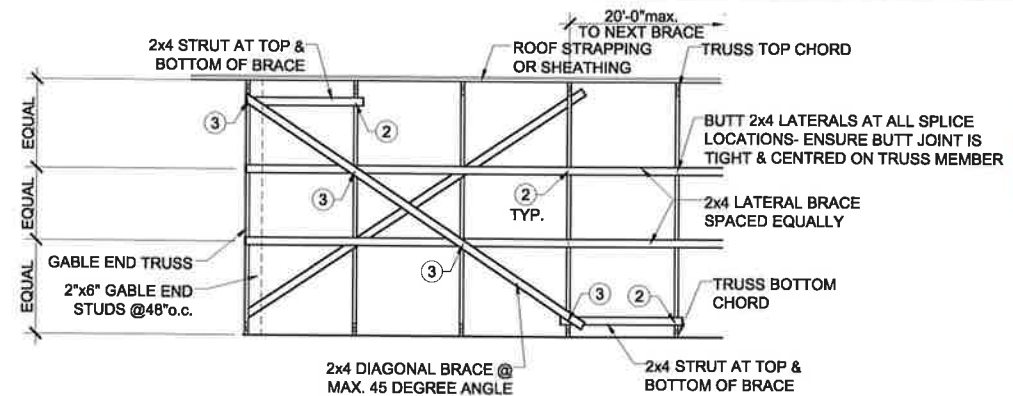
GABLE ENDS SNOW X-BRACING (REAR ELEVATION)



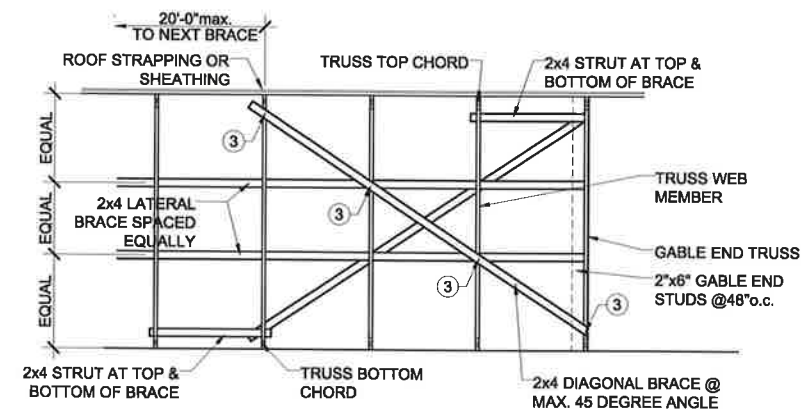
INTERMEDIATE SNOW BRACING -REAR ELEVATION-

TYP. SINGLE RIBBON SNOW BRACING

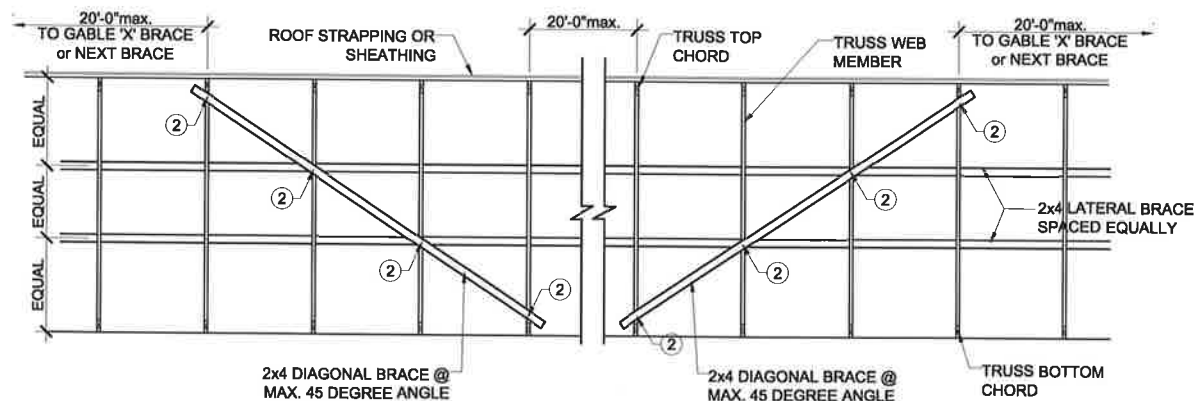
SCALE: NTS



GABLE ENDS SNOW X-BRACING (FRONT ELEVATION)



GABLE ENDS SNOW X-BRACING (REAR ELEVATION)



INTERMEDIATE SNOW BRACING -REAR ELEVATION-

TYP. DOUBLE RIBBON SNOW BRACING

SCALE: NTS

NOTES:

1. # EQUALS THE NUMBER OF 3 1/2" SPIRAL NAILS
2. INTERMEDIATE SNOW BRACING TO REPEAT & ALTERNATE AS SHOWN BETWEEN GABLE END SNOW BRACING
3. SPECIFIED SNOW BRACE SPACING IS FROM END TO END OF ADJACENT BRACING
4. SNOW BRACING FOR PRE-ENG MONO TRUSSES TO BE REVIEWED ON AN INDIVIDUAL BASIS

PLAN OF SURVEY OF
PART OF LOT 10 CONCESSION 14
(GEOGRAPHIC TOWNSHIP OF EGREMONT)
TOWNSHIP OF SOUTHGATE
COUNTY OF GREY
SCALE 1"=250'
ALEX R. WILSON SURVEYING INC



NOTE: METRIC NOTE
DISTANCES SHOWN IN PARENTHESIS ARE IN METERS AND CAN BE
CONVERTED TO FEET BY MULTIPLYING BY 0.3048

LANDOWNER'S CERTIFICATE

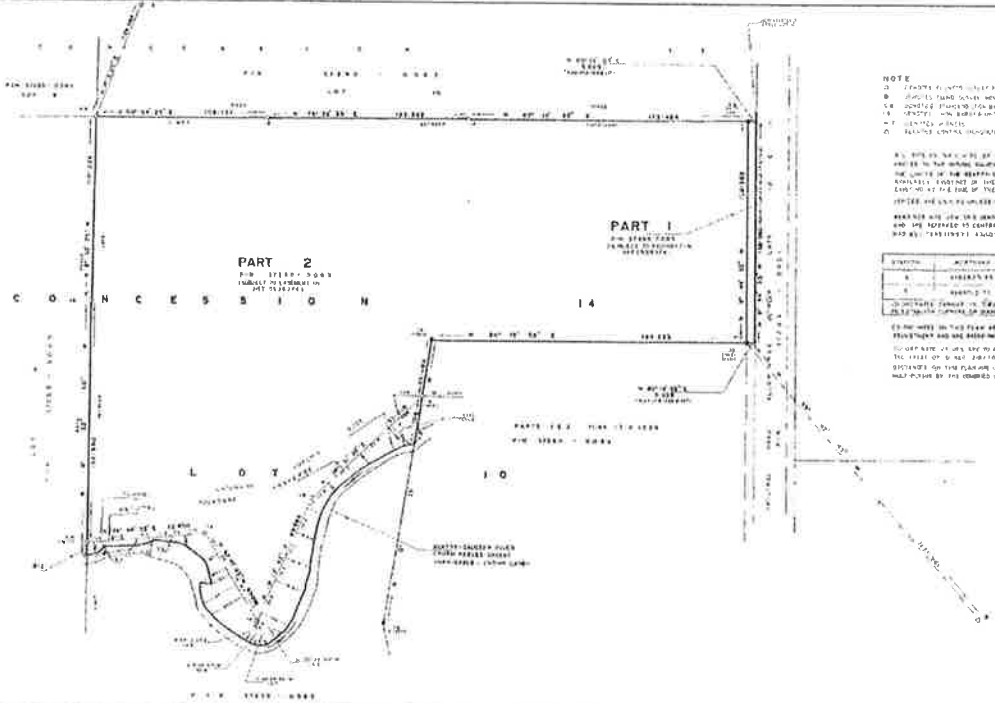
- I, the undersigned, hereby certify that the above described land is my own and that I am the owner thereof.
- I hereby authorize the above named surveyor to survey the land and to place the survey monument on the land.
- I hereby authorize the above named surveyor to place the survey monument on the land.

19 August 2011

Alex R. Wilson
ALEX R. WILSON SURVEYING INC

CLIENT: FOSTER

PROJECT: 08-1088



NOTE:
1. THE SURVEY WAS MADE BY THE SURVEYOR IN THE FIELD AND THE RESULTS WERE CHECKED BY THE SURVEYOR IN THE OFFICE.
2. THE SURVEY WAS MADE BY THE SURVEYOR IN THE FIELD AND THE RESULTS WERE CHECKED BY THE SURVEYOR IN THE OFFICE.
3. THE SURVEY WAS MADE BY THE SURVEYOR IN THE FIELD AND THE RESULTS WERE CHECKED BY THE SURVEYOR IN THE OFFICE.
4. THE SURVEY WAS MADE BY THE SURVEYOR IN THE FIELD AND THE RESULTS WERE CHECKED BY THE SURVEYOR IN THE OFFICE.
5. THE SURVEY WAS MADE BY THE SURVEYOR IN THE FIELD AND THE RESULTS WERE CHECKED BY THE SURVEYOR IN THE OFFICE.

PLAN NO. 10081
REVISED AND RECORDED
DATE 19 August 2011
PARTY AND POSITION FOR THE LAND FILES DIVISION OF GREY 1 NO 10
I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND FILES ACT
DATE 30 August 2011
Alex R. Wilson
ALEX R. WILSON
100 KING STREET EAST
SUITE 204
MOUNT FOREST
M5G 1G5

ALEX R. WILSON
SURVEYING INC
100 KING STREET EAST
SUITE 204
MOUNT FOREST
M5G 1G5