

SITE PLAN LEGEND:

- ▲ F: ENTRANCE / EXIT @ GRADE FLUSH W/ INT. FIN. FLOOR
- ▲ HO: ENTRANCE / EXIT - W/ BARRIER FREE DOOR OPERATOR (COORD. W/ ELEC. DWG-5)
- : PROPERTY LINES / BOUNDARY BY-LAW SET BACKS
- : CHAIN LINK FENCE (CLF) TYP. 1800MM HIGH UNLESS NOTED OTHERWISE (COORD. W/ OPSD DETAILS OPSD-972.132, 972.130, 972.102, 972.101)
- NOTE: WHERE EX. FENCES ARE SHOWN THEY SHALL REMAIN ON ADJACENT LANDS UNLESS OTHERWISE NOTED
- ♿: PTD. WHEELCHAIR SIGN ON ASPHALT
- : DENOTES EX. PAINTED DIRECTIONAL ARROWS ON ASPHALT PAVEMENT
- BOL: BOLLARD - REFER TO SITE ON DWG A1.2
- : BICYCLE RACK - REFER TO SPECS
- : PROPOSED PROJECT SIGN W/ DETAILS ON DWG A1.2
- : TRAFFIC SIGNAGE (COORD. W/ SIGNAGE SCH.)
- : FLAG POLE (COORD. W/ DETAILS ON DWG A1.2)
- FC: FLUSH CURB - CONCRETE SIDEWALK TO BE FLUSH WITH ASPHALT - (COORD. W/ OPSD-310.030) SEE DETAILS ON DWG A1.3
- CLF: GALV. CHAIN LINK FENCE
- BLK CLF: GALV. BLACK VINYL COATED CHAIN LINK FENCE
- : ELECTRIC VEHICLE CHARGING STATION ROUGH IN PAD AND BOLLARDS. REFER TO ELECTRICAL DRAWINGS
- DRIPPED CURB (COORD. W/ OPSD-310.030) SEE DETAILS ON DWG A1.3
- A 3m X 4.5m VISIBILITY TRIANGLE MUST BE MAINTAINED (REMAIN CLEAR) AT BOTH SIDES OF ALL INTERSECTION OF FENCIBLE TRAFFIC ACCESS ROADS / DRIVEWAYS. THE MAX. HEIGHT OF ANY OBJECT OR MATURE VEGETATION WITHIN THE VISIBILITY TRIANGLE IS NOT TO EXCEED 0.4m ABOVE THE CENTRELINE OF THE CORRESPONDING ADJACENT STREET.
- CATCH BASIN
- CATCH BASIN - MAN HOLE
- MH: MAN HOLE
- : NEW FIRE HYDRANT/EX. LOCATION
- : PROPOSED SIAMASE / FIRE DEPARTMENT CONNECTION
- : LIGHT STD. (COORD. W/ ELEC. SITE PLAN)
- HYDRO VALV./TRANSFORMER ON CONC. PAD (COORD. W/ ELEC. SITE PLAN)
- : GAS METER LOCATION REFER TO DWG A1.2 FOR ENCLOSURE DETAIL
- ASPHALT SPEED BUMP REFER TO DETAIL ON DWG A1.2
- CLF: GALV. CHAIN LINK FENCE
- BLK CLF: GALV. BLACK VINYL COATED CHAIN LINK FENCE
- : ELECTRIC VEHICLE CHARGING STATION ROUGH IN PAD AND BOLLARDS. REFER TO ELECTRICAL DRAWINGS

REVISIONS

NO.	DATE	PARTICULAR
1	2024.12.13	ISSUED FOR MINOR VARIANCE APPLICATION

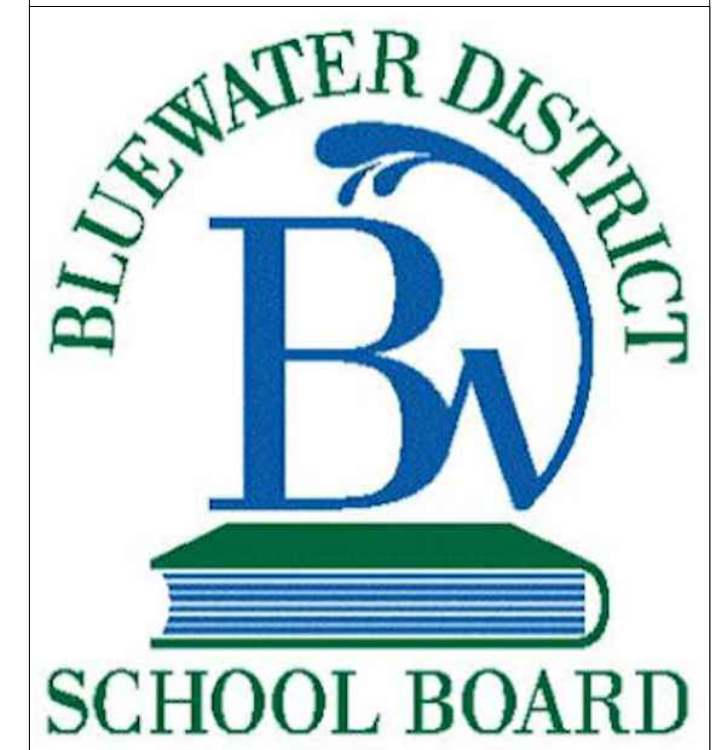
NOTES:

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

KEY PLAN:

GENERAL NOTES:

- THE "LIMITS OF CONSTRUCTION" SHALL BE ASSUMED TO BE THE PROPERTY LINE UNLESS OTHERWISE NOTED
- FIRE ACCESS ROUTE TO BE POSTED AND DESIGNATED UNDER MUNICIPAL BY-LAW (FIRE ACCESS ROUTE TO BE MIN. 6 m WIDE WITH A MIN. 12 m CENTRELINE TURNING RADIUS AND MAX. 6% SLOPE)
- COORD. W/ CIVIL MECH. & ELEC. SITE PLANS FOR ALL EXISTING & NEW LOCATIONS OF SERVICES & ENTRY OF SERVICES INTO THE BUILDING ENVELOPE (ALL CIVIL MECH. ELEC. & LANDSCAPE INFO INDICATED ON ARCHITECTURAL SITE DWG. A1.1 IS FOR GENERAL REFERENCE & COORD. ONLY)
- REFER TO AND COORD. W/ SITE GRADING PLAN FOR PROPOSED FINAL FINISH GRADE, ELEV. S & DRAINAGE SLOPES
- TYP. DRIVEWAY & PARKING LOT CONC. CURBS AS INDICATED ON DRAWING. COORD. W/ CIVIL DRAWINGS, OPSD DETAILS & SPECS. FOR TYPICAL CURB TYPES. SITE DIMENSIONS ARE TYPICALLY DIMENSIONED TO FACE OF CURB
- THE SUB-GRADE SOILS EXPOSED AFTER EXCAVATION SHALL BE INSPECTED AND CERTIFIED BY A QUALIFIED REGISTERED PROFESSIONAL SOILS ENGINEER AND A COPY OF THE REPORT SHALL BE FORWARDED TO THE TOWNSHIP
- ALL FILL PLACED ON THE SITE SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY. A SUFFICIENT NUMBER OF TESTS SHALL BE TAKEN AT VARIOUS LEVELS SATISFACTORY TO THE DIRECTOR OF ENGINEERING. TEST RESULTS SHALL BE SENT TO THE TOWNSHIP WITH A LETTER, SIGNED AND STAMPED BY THE SOILS ENGINEER, STATING THAT A SUFFICIENT NUMBER OF TESTS HAVE BEEN TAKEN AND THE MINIMUM DEGREE OF COMPACTION HAS BEEN REACHED
- APPROVAL OF THIS DRAWING IS FOR MATERIAL ACCEPTABILITY AND COMPLIANCE WITH MUNICIPAL AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION BY THE TOWNSHIP OF THE WORKS DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS AND IT IS THE OWNER'S RESPONSIBILITY TO HAVE THEIR ENGINEER CERTIFY THIS ACCORDINGLY
- STATION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO WORKS COMMENCING ON THE SITE AND SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION TO THE SATISFACTION OF THE TOWNSHIP OF SOUTHGATE. (COORD. W/ OPSD DETAILS)
- PROJECT SIGN TO BE ERRECTED @ BEGINNING OF PROJECT. LOCATION TO BE COORDINATED WITH ARCHITECT ON SITE. (DETAILS 2, 3 & 4 ON A1.2)
- PROVIDE ASPHALT AS INDICATED DWG 12/A1.2 AND GEOTECHNICAL REPORT FOR PAVEMENT STRUCTURE RECOMMENDATION
- CONTRACTOR IS RESPONSIBLE FOR PLANTINGS, SOIL, WATERING, FERTILIZING & MAINTENANCE UNTIL SUBSTANTIAL PERFORMANCE IS ACHIEVED. THE WARRANTY PERIOD WILL COMMENCE UPON SUBSTANTIAL PERFORMANCE OF THIS WORK
- REMOVE ANY EXISTING CURB CUTS & DRIVEWAY ACCESS & REINSTATE BARRIER CURB & NEW TOPSOIL & SOIL.



PROJECT:
22431
DUNDAK ES AND CHILDCARE
ADDRESS MULTI LINE

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BEFORE STARTING WORK

- THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP, ARCHITECT & CONSULTANTS AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- THE POSITION OF THE POLE LINES, CONDUITS, WATER MAINS, SEWERS, AND OTHER UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. CONTRACTOR TO VERIFY EXISTING CONDITIONS.
- ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LOCATED, MARKED AND PROTECTED. ANY UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ENGINEER, AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ALL BENCHMARKS, ELEVATIONS, DIMENSIONS, AND GRADES MUST BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER.
- AT LEAST TWO DIFFERENT BENCHMARKS MUST BE REFERRED TO AT ALL TIMES.

GENERAL NOTES - MUNICIPAL

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROPOSED DEVELOPMENT SHALL BE TO THE SATISFACTION OF THE TOWNSHIP.
- STREET EXCAVATION PERMITS ARE REQUIRED FOR ANY WORK IN MUNICIPAL RIGHT OF WAY BY ANY CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR ALL SERVICING, UTILITIES, AND COSTS.
- STORM WATER DRAINAGE MUST NOT HAVE A NEGATIVE IMPACT ON ADJACENT PROPERTIES.
- FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE FIRE DEPARTMENT AND AT THE EXPENSE OF THE CONTRACTOR.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5 M SHALL BE WITHIN 5% MAXIMUM GRADE. THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- PAVEMENT MARKINGS AND SIGNAGE ARE TO BE IMPLEMENTED AS PER THE PAVEMENT MARKING AND SIGNAGE / TRAFFIC CONTROL PLAN BY GHD.
- UNLESS OTHERWISE NOTED VEHICULAR ASPHALT AREAS TO BE DEFINED WITH 0.15M HIGH POURED CONCRETE CURBING
- THE MUNICIPAL APPROVAL OF THIS SITE PLAN DOES NOT EXEMPT THE CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS - SEWER AND WATER PERMITS
 - AGREEMENTS
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS

DEVELOPMENT DETAILS:

PROPERTY DISCRPTION:	PROVIDED
TOWNSHIP OF SOUTHGATE (JOINING BY-LAW 19-2002 AS AMENDED)	
MIN. LOT AREA	550 m ²
MAX. LOT COVERAGE	35% MAX.
MIN. FRONT YARD	12 m
MIN. REAR YARD	9 m
MIN. EXTERIOR SIDE YARD	9 m
MIN. REAR YARD	12 m
BUILDING HEIGHT	11 m
OCB BUILDING AREA	FIRST FLOOR AREA = 3,577 sq m
GROSS BUILDING AREA	FIRST FLOOR AREA = 2,054 sq m LEVEL 3, FLOOR AREA = 1,090 sq m
	TOTAL BUILDING AREA = 6,721 sq m
HARD SURFACE AREA (ASPHALT + CONCRETE)	= 9,722m ² = 29.4%
LANDSCAPE AREA	= 18,727 m ² = 56%
TOTAL SITE AREA	= 33,100 m ² = 100%

TYPE OF DEVELOPMENT

BUILDING GROUP A, DIV. 2
CLASSIFICATION OCB CLASSIFICATION - 3.2.2.4
UP TO 6 STOREYS, ANY AREA SPRINKLERED

PARKING REQUIREMENTS

MIN. SIZE OF PARKING STALLS	PER BY-LAW	PER SITE PLAN
2.75 x 5.75m	2.75 x 5.75m	2.75 x 5.75m
OFF STREET PARKING REQUIREMENTS	REM. SCHOOL: 1.3 SPACE PER CLASSROOM AND 1 PER 4 SQ FT ASSEMBLY AREA + 12 PORTABLES + FUTURE ADDITION CHILD CARE: 1 PER CLASSROOM OR 1 PER 102 OF GFA	31 CLASSROOMS X 1.5 = 46.5 + 43 + 12 PORTABLES = 1201.5 sq ft REQUIRED 47 + 16 = 63 3 X 3 = 9 SPACES
ACCESSIBLE PARKING SPACES	4.4 x 6m 1 SPACE FOR THE FIRST 20 SPACES 1 FOR EACH ADDITIONAL 100 SPACES REQUIRED = 2	4.4 x 6m PROVIDED = 4
	TOTAL REQD. = 76 (3 BIF)	TOTAL PROVIDED = 77 (3 BIF)

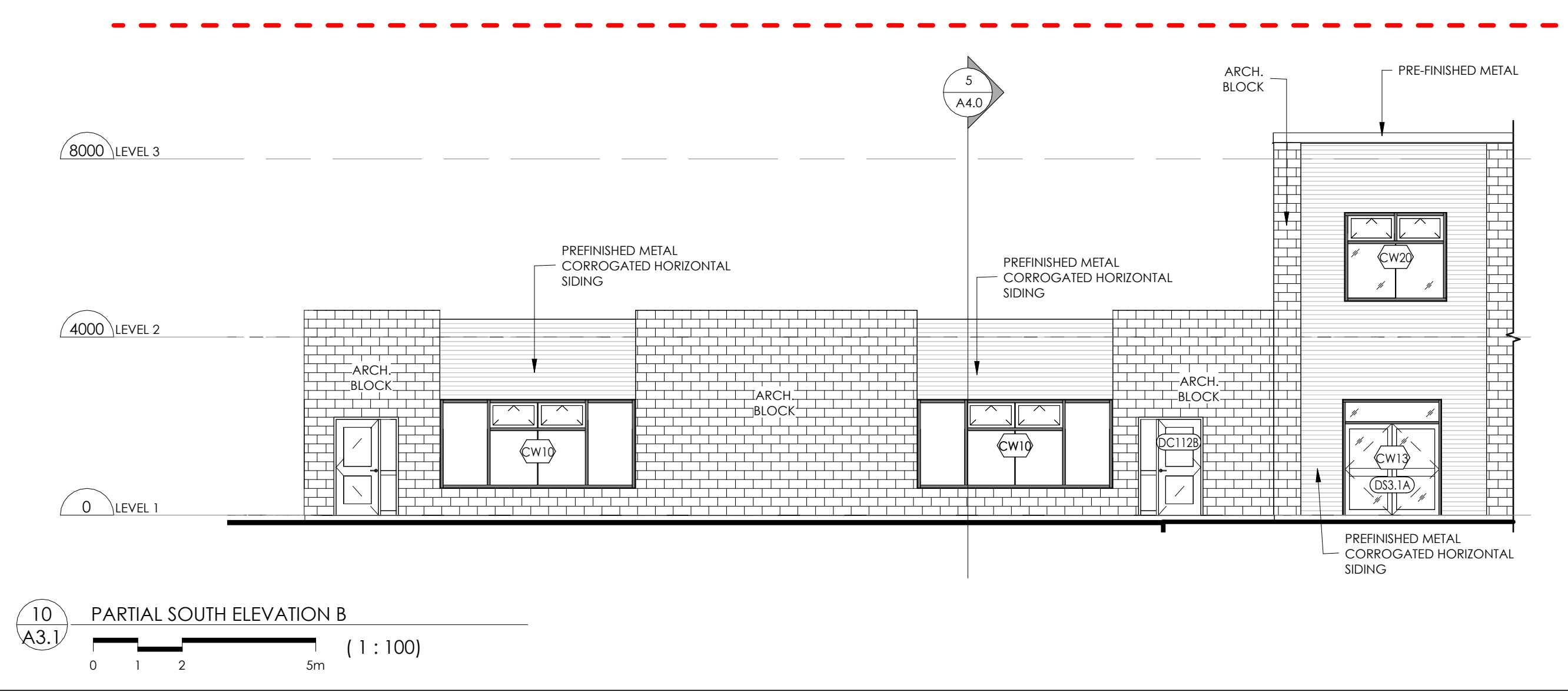
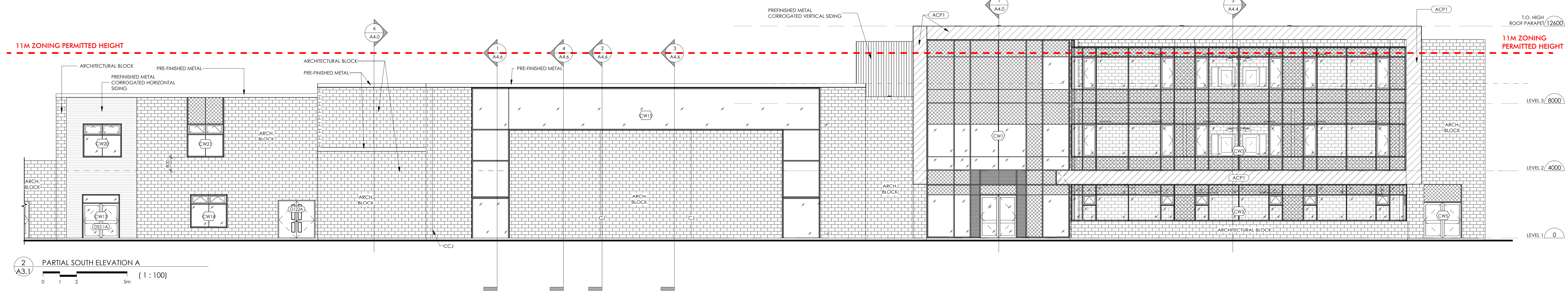
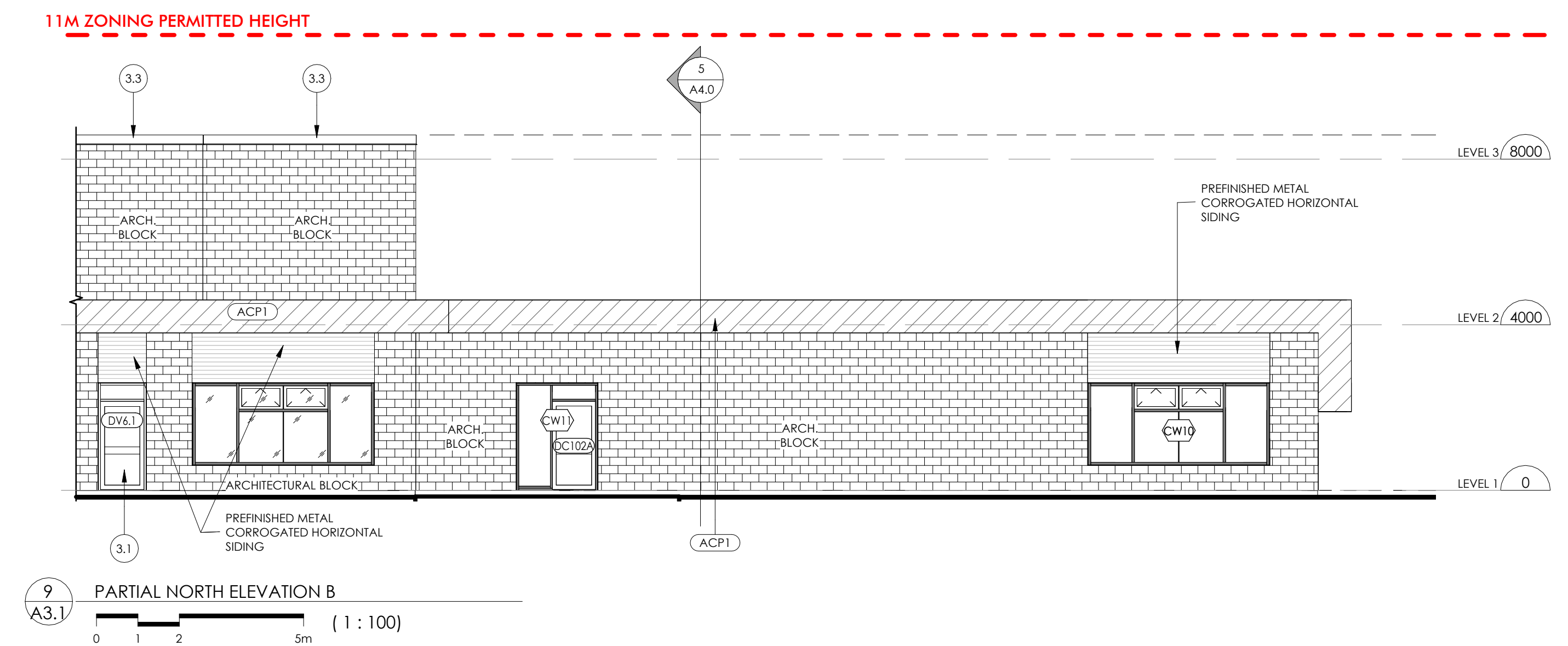
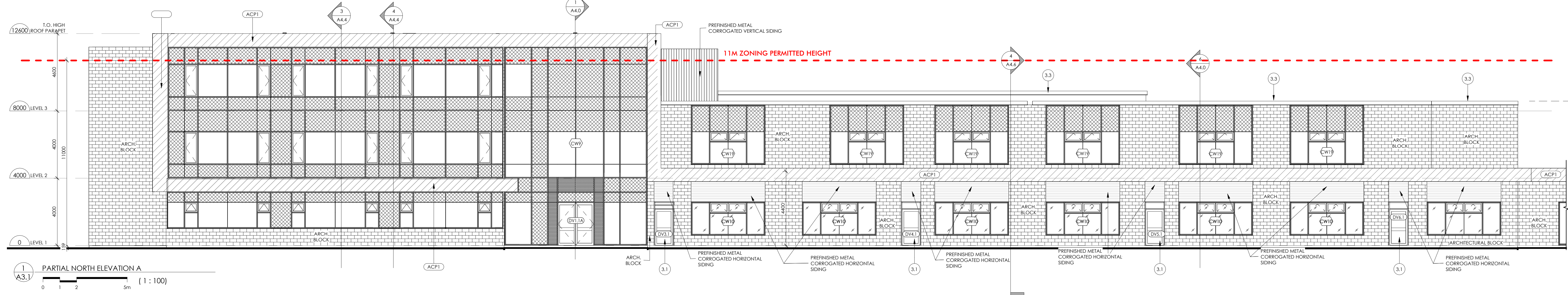
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Plot Date: Dec. 13, 2024 - 12:57pm By: cmcristiano

VG ARCHITECTS
THE VENTIN GROUP LTD

A1.1

Site Plan Orientation: CN (North), N (North), S (South), E (East), W (West)

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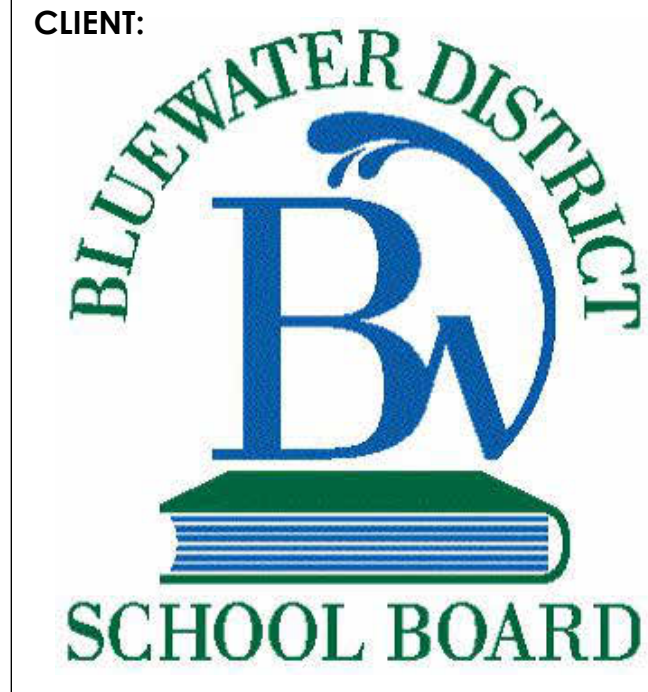
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NOTES:

- INSULATED HOLLOW METAL DOORS & FRAME PAINTED TO MATCH BLOCK TYPICAL OW FILM APPLIED GLAZING TO MATCH THE BLOCK COLOUR.
- ROOF TOP UNIT SCREEN. REFER TO DETAIL...
- PREFINISHED METAL CAP FLASHING
- CHAIN LINK FENCE

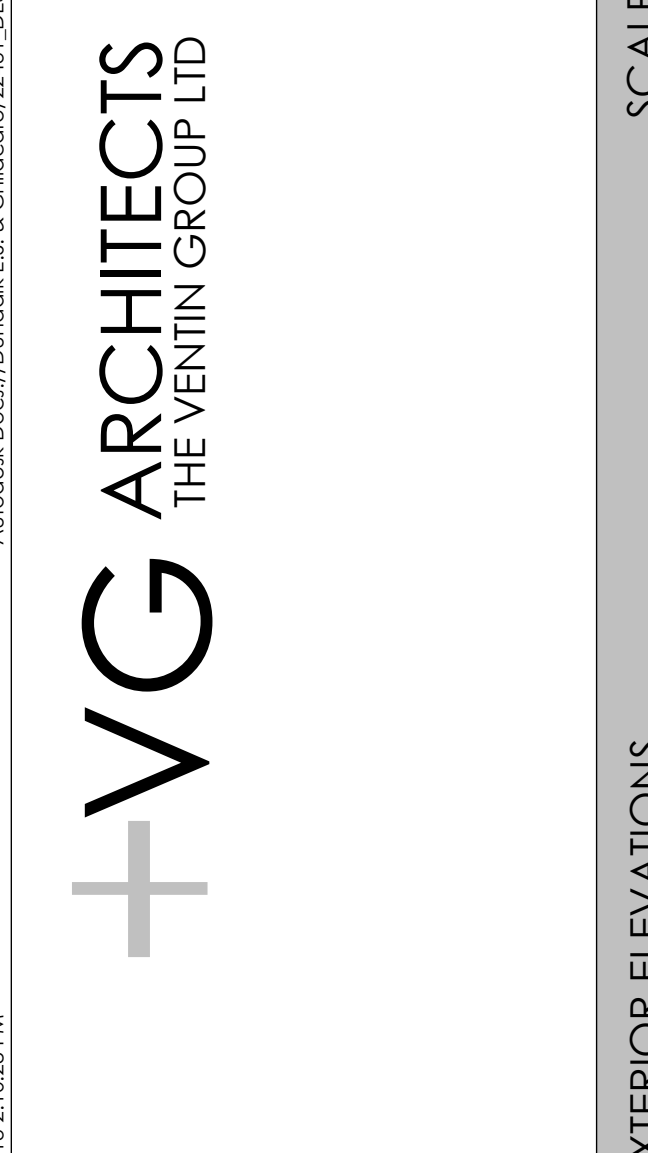
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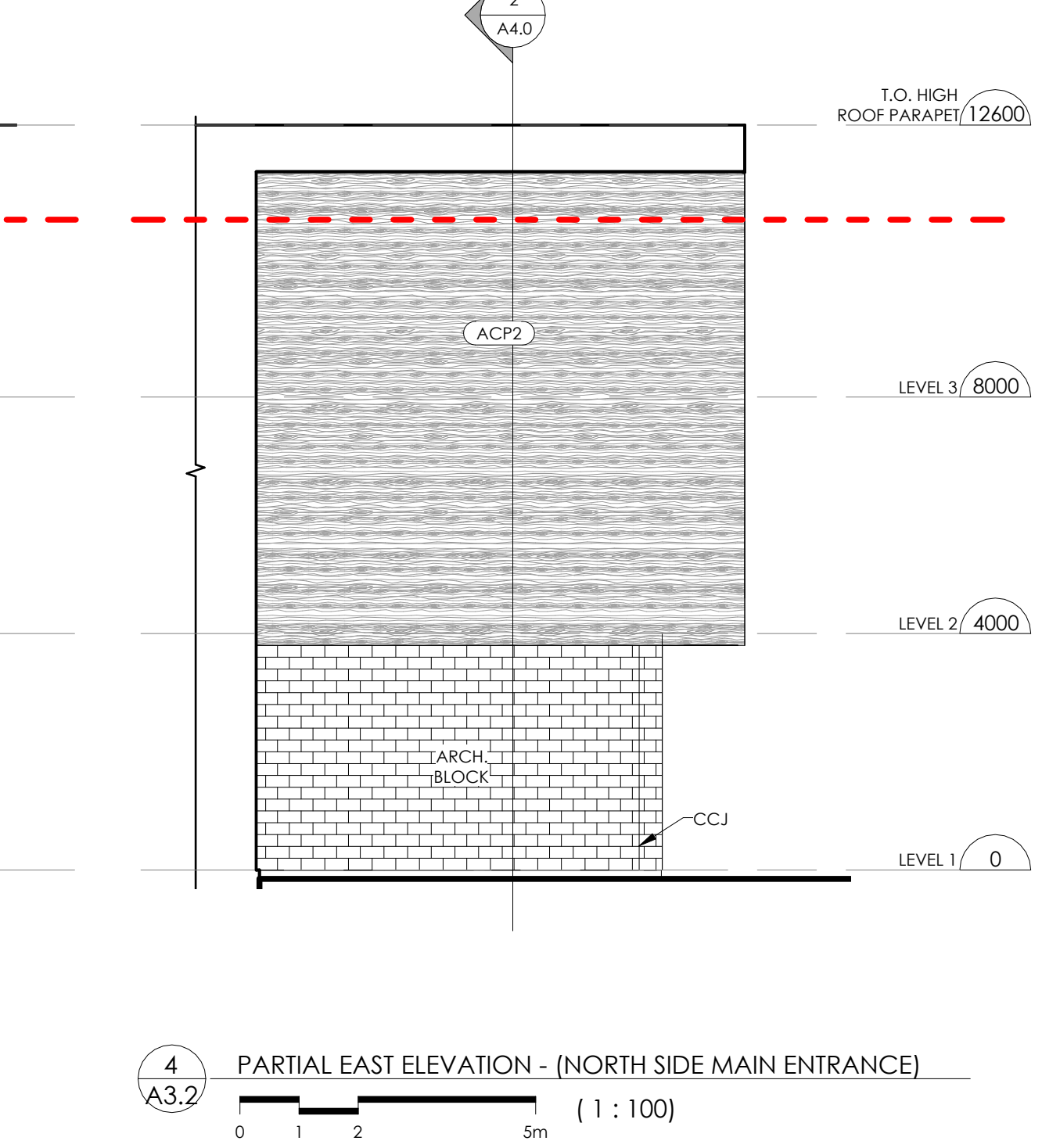
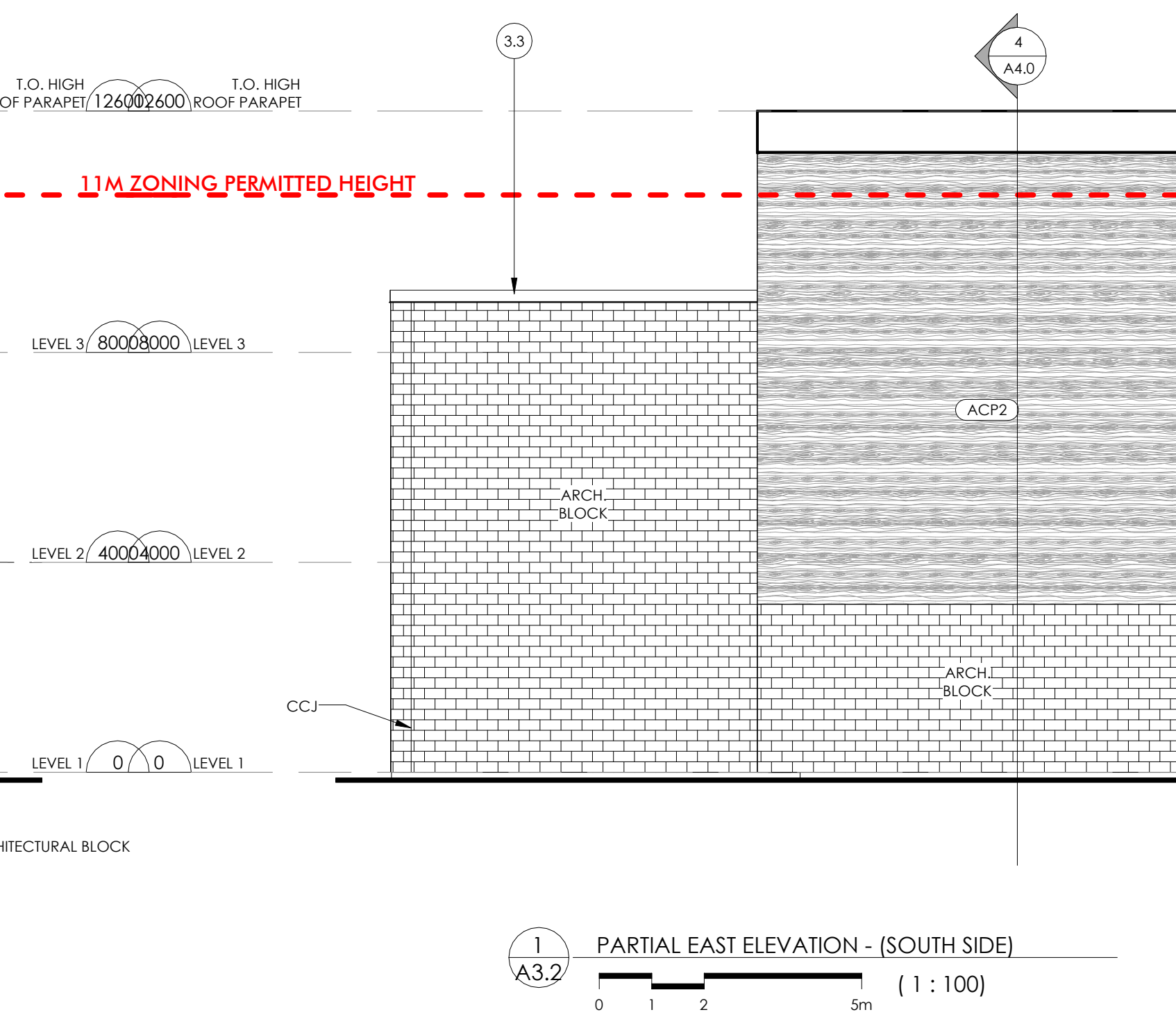
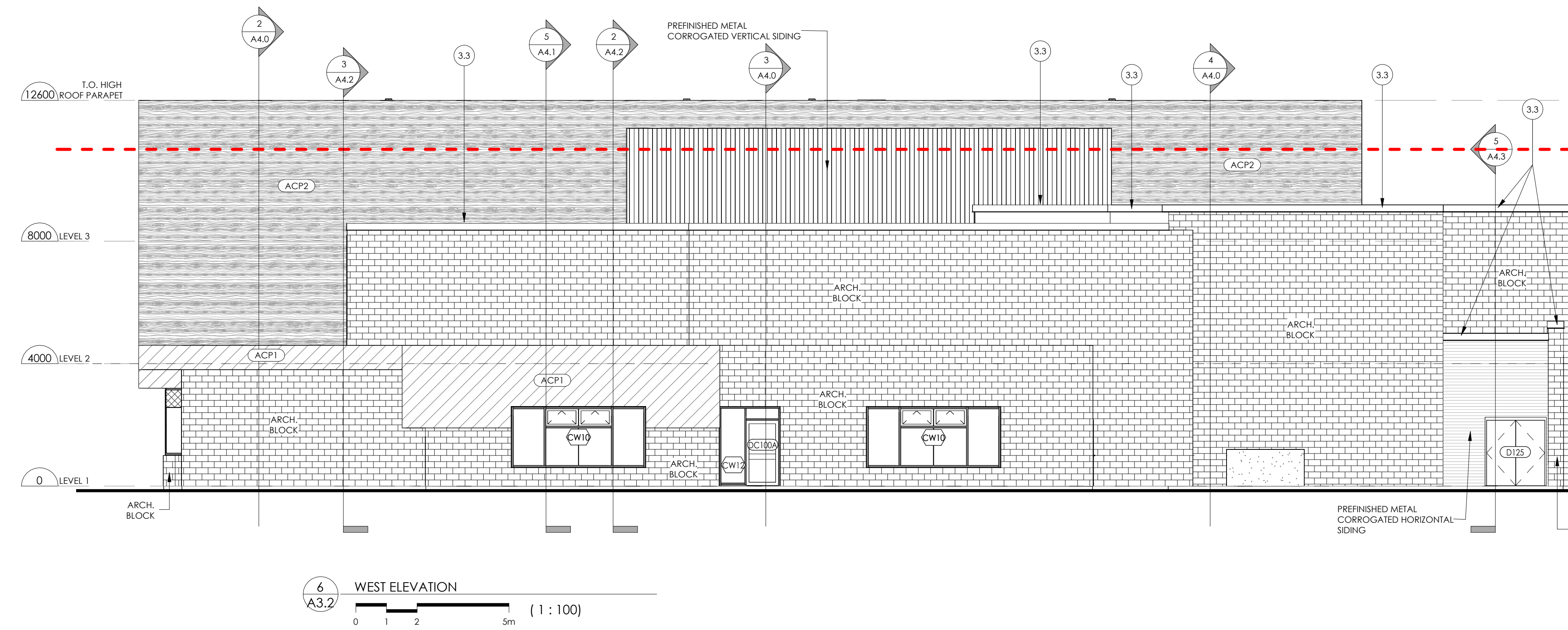
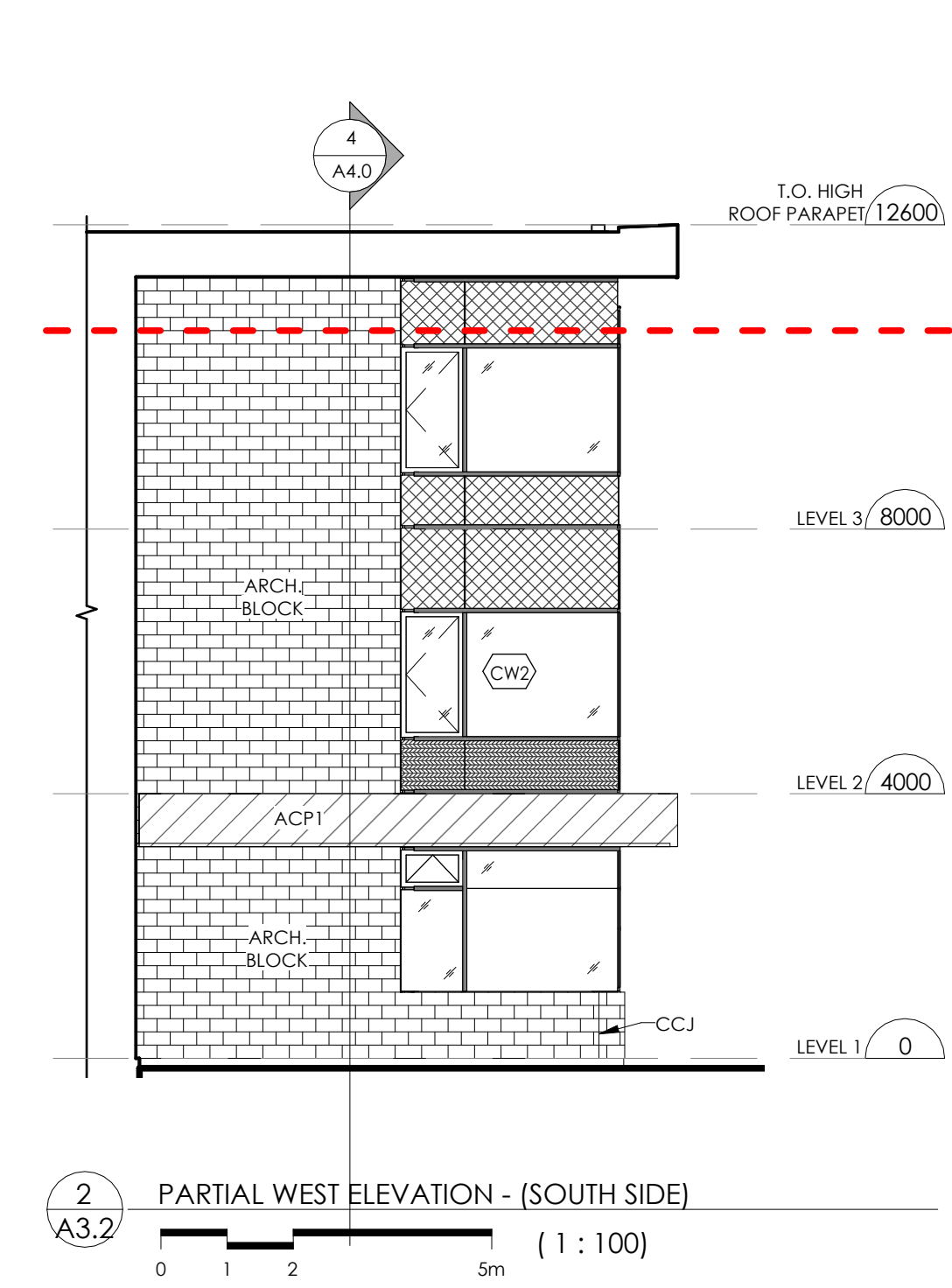
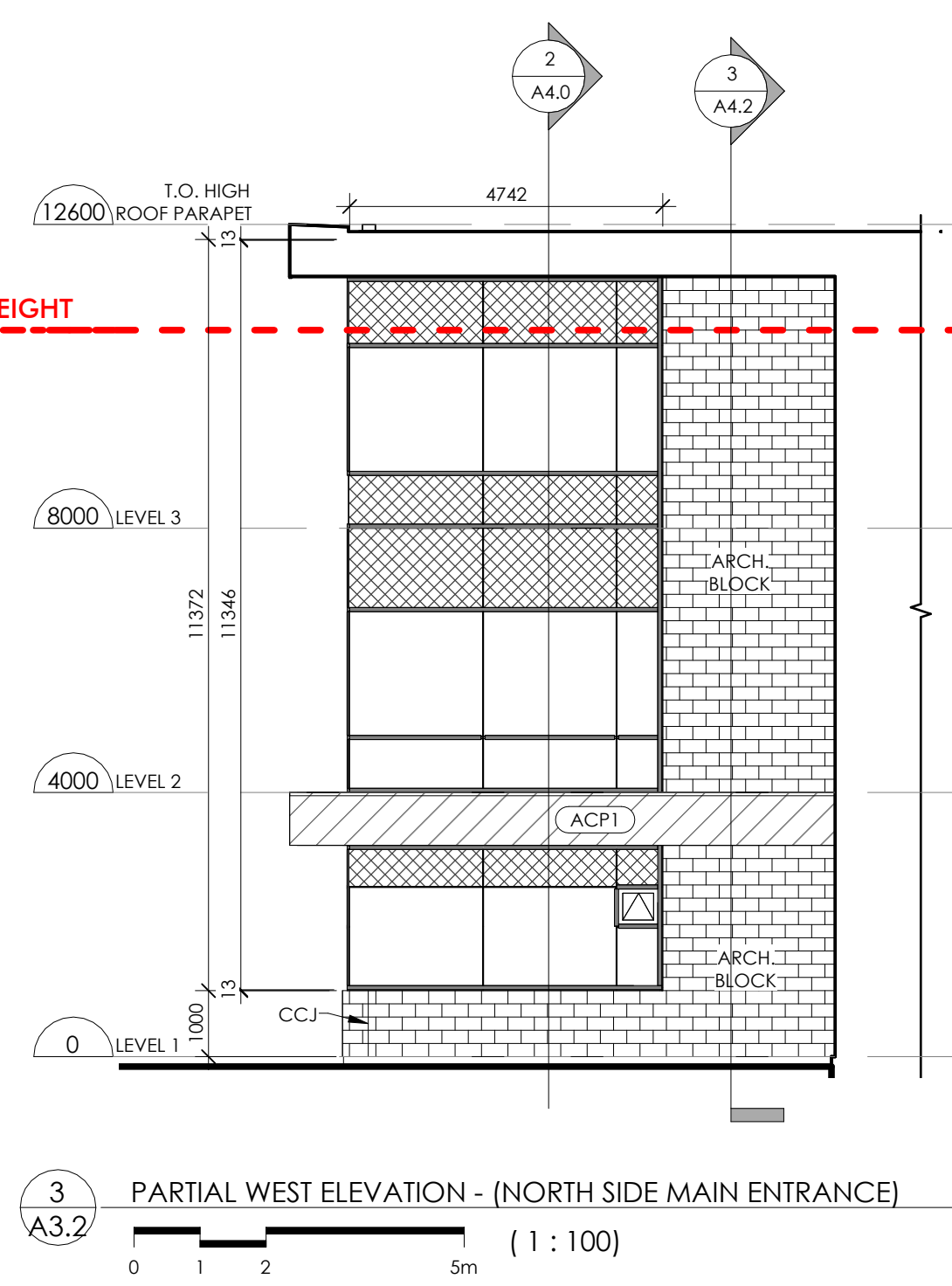
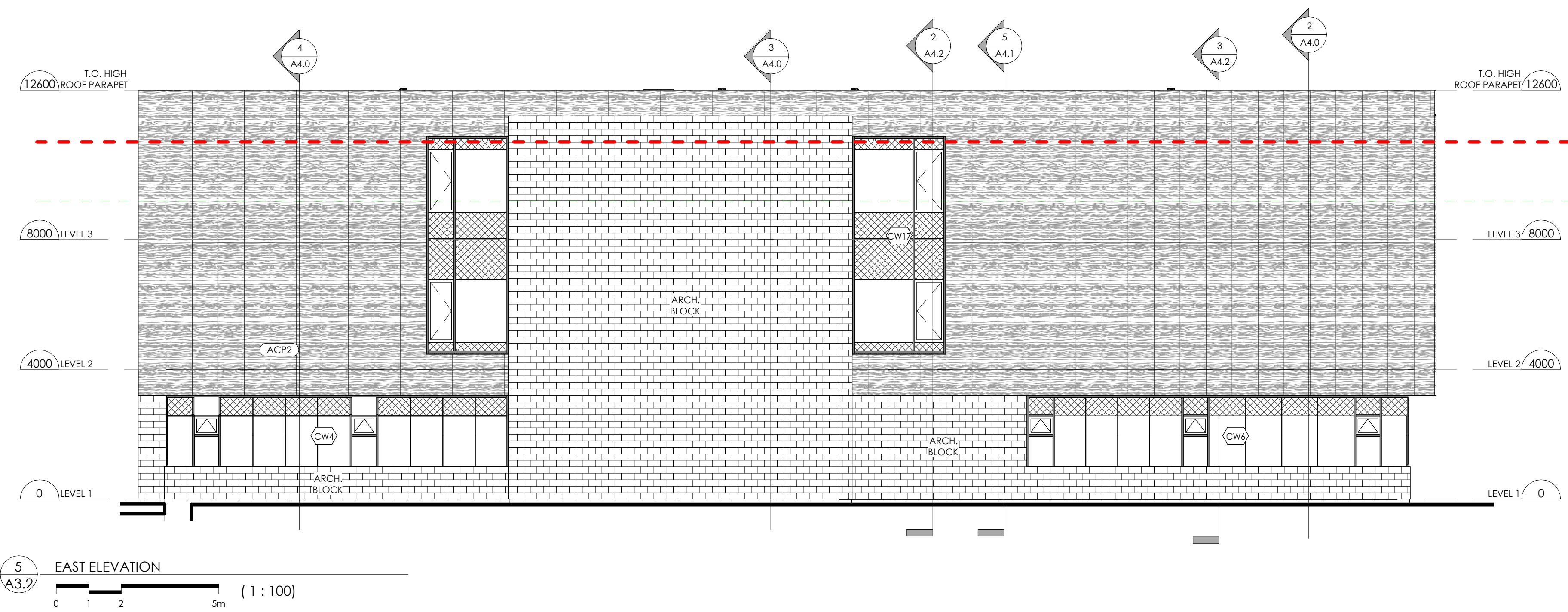
	1' SPANDBREL GLASS C/W SEALED METAL BACK PAN FILLED SOLID W/ MINERAL WOOL INSULATION
	SPANDBREL PLYWOOD
	VISION GLASS
	ALUMINUM COMPOSITE PANEL - WHITE IN COLOUR
	ALUMINUM COMPOSITE PANEL (WOOD LOOK)
	ARCHITECTURAL BLOCK
	PREFINISHED METAL CORRUGATED HORIZONTAL SIDING
	PREFINISHED METAL CORRUGATED VERTICAL SIDING



PROJECT:
 22431
 DUNDALK E.S. & CHILDCARE
 ## Street
 City, State Zip

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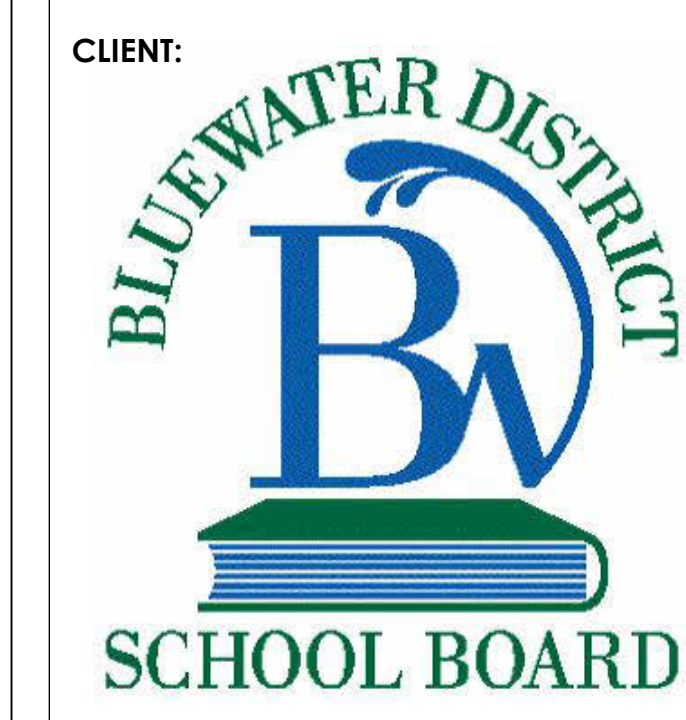


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- NOTES:**
- 3.1 INSULATED HOLLOW METAL DOORS & FRAME PAINTED TO MATCH BLOCK TYPICAL C/W FILM APPLIED GLAZING TO MATCH THE BLOCK COLOUR.
 - 3.2 ROOF TOP UNIT SCREEN. REFER TO DETAIL....
 - 3.3 PREFINISHED METAL CAP FLASHING
 - 3.4 CHAIN LINK FENCE

HATCH IDENTIFICATION MARKER LEGEND

- SF1 SPANDREL GLASS C/W SEALED METAL BACK PAN FILLED SOLID W/ MINERAL WOOL INSULATION
- SF2 SPANDREL PLYWOOD
- GL VISION GLASS
- ACP1 ALUMINUM COMPOSITE PANEL - WHITE IN COLOUR
- ACP2 ALUMINUM COMPOSITE PANEL (WOOD LOOK)
- ARCH. BLOCK ARCHITECTURAL BLOCK
- PREFINISHED METAL CORRUGATED HORIZONTAL SIDING
- PREFINISHED METAL CORRUGATED VERTICAL SIDING



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