



LOFT PLANNING

P.O. Box 246, STN MAIN
Collingwood, Ontario
L9Y 3Z5

705.446.1168
kristine@loftplanning.com
loftplanning.com

February 12, 2025

Ms. Victoria Mance, MA
Planner,
Township of Southgate
185667 Grey County Road 9
Dundalk, Ontario
N0C 1B0

Mr. Bill White, MCIP RPP
Consulting Senior Planner
Township of Southgate
185667 Grey County Road 9
Dundalk, Ontario
N0C 1B0

Dear Ms. Mance and Mr. White:

**RE: Planning Justification Letter (Minor Variance)
132225 Southgate Sideroad 13, Township of Southgate
Legal Address: PT LT 18 CON 11 PROTON PT 3 17R3012; TOWNSHIP OF SOUTHGATE
ARN: 420709000207920
File: BRO.82124.267 (A. MARTIN)**

1.0 INTRODUCTION

We have been retained by Aaron Martin, owner of 132225 Southgate Sideroad 13, Township of Southgate to act as planners for a Minor Variance and Site Plan Applications on the aforementioned lands. The land is municipally known as 132225 Southgate Sideroad 13, Township of Southgate. The application proposes to increase the size of an existing Industrial workshop located on the subject property. This Planning Justification Letter is being submitted as part of a complete application.

2.0 LOCATION

The subject lands are municipally known as 132225 Southgate Sideroad 13, Township of Southgate and legally described as PT LT 18 CON 11 PROTON PT 3 17R3012; SOUTHGATE. The land does have a second civic address noted as 145683 Southgate Road 14. The lands are located at the northeast corner of Southgate Sideroad 13 and Southgate Road 14. The lands have legal access from both Southgate Sideroad 13 and Southgate Road 14.



P.O. Box 246, STN MAIN
Collingwood, Ontario
L9Y 3Z5

705.446.1168
kristine@loftplanning.com
loftplanning.com

LOFT PLANNING

3.0 SITE DESCRIPTION & SURROUNDING USES

The subject lands are a rural parcel of land having a lot area of 20.3 hectares and a lot frontage of 389 metres onto Southgate Sideroad 13 (Figure 1 - Subject Lands). There is an entrance onto Southgate Sideroad 13 and Southgate Road 14. The lands are described as rural, containing woodlands and agricultural lands (Figure 2 – Aerial). The land contains a single detached residential dwelling and accessory structures including an agricultural building and an existing on-farm diversified use. The land is serviced by private services.

The lands are designated Rural and Hazard in the County of Grey Official Plan and the Township of Southgate Official Plan. The lands are zoned Agricultural (A1), Agricultural Exception (A1-398) and Environmental Protection (EP) in the Township of Southgate Zoning By-law 19-2002. The Saugeen Valley Conservation Authority (SVCA) partially regulates the lands. The surrounding lands can be described as woodlands to the north, agricultural to the east, south, and agricultural and woodlands to the west.

4.0 DESCRIPTION OF PROPOSAL

The applicant proposes a Minor Variance to increase the amount of usable indoor storage space. As part of pre-consultation, it was noted that to maintain policy compliance – a reduction in the outdoor storage space is required.

The application is described as follows:

1. Minor Variance:

1. **To vary S.33-398 b) to increase the maximum combined size of the Industrial workshop, power room, office and lunchroom from a permitted 750 sqm to 806 sqm, therefore an increase of 56 sqm.**
2. **To vary S.33-398 c) to limit the outdoor storage to 400 sqm with the condition of reducing the zoned area of 4060 sqm.**

5.0 MINOR VARIANCE

Under Section 45 of the Planning Act, RSO, 1990, the Committee of Adjustment is given the power to approve minor variances to the provisions of the Zoning By-law where it is demonstrated that the proposed variances represent good planning and are desirable for the appropriate development of the land and meet the general intent of the Official Plan and Zoning By-law.

The four tests were considered to determine the appropriateness of the proposed variances based on the impact on adjacent uses and a review of the Township of Southgate Official Plan and Zoning By-law. The analysis of the Four Tests is summarized as follows:



LOFT PLANNING

5.1 FOUR TESTS

P.O. Box 246, STN MAIN
Collingwood, Ontario
L9Y 3Z5

705.446.1168
kristine@loftplanning.com
loftplanning.com

1. Are the variances in keeping with the general intent and purpose of the Township of Southgate Official Plan?

The minor variance maintains the general intent and purpose of the Township of Southgate Official Plan. The Township of Southgate Official Plan does support on-farm diversified uses within the Rural designation. S.5.4.2.2 of the Official Plan provides that,

“2) Notwithstanding Section 5.4.1.2, on-farm diversified use may be permitted in the Rural designation regardless of the lot size. These restrictions on area and building size apply only to on-farm diversified uses. Such uses are not allowed in the Agricultural designation on lots of less than 20 hectares in size, and therefore, the Township’s Zoning By-law will include a provision requiring a review of the Official Plan to determine if the lands are designated Agricultural or Rural.

i. On farm diversified uses on lots of 20 hectares or more in area in the Rural designation shall not occupy any more land than the lesser of 2% of the lot area or a maximum of 8,000 square meters, and the associated building(s) situated within this portion of the property shall not occupy more than 20% of the land devoted to the on-farm diversified use up to a maximum of 750 square metres.”

There is an existing on-farm diversified use on site which complies with the existing zoning (Exception 398). It is noted that the existing permissions are for 750 sqm and the actual existing built form is approximately 713.14 sqm. The proposal is to therefore increase the permitted building size from 750 sqm to 806 sqm. The intent is to limit the size of on-farm diversified uses to the lesser of 2% of the lot area or a maximum of 8000m². The proposal would maintain this policy by decreasing the permitted amount of outdoor storage space and increasing the permitted amount of maximum combined built space related to the Industrial workshop, power room, office and lunchroom. The land has a lot area of 20.3 ha. The built area would have a total area of 806 m². The on-farm diversified use would maintain 2% of the lot area calculation (806 m² < 8000m²) and proposes to reduce the maximum permitted outdoor storage area from 500 sqm to 400 sqm. The proposal maintains the general purpose and intent of the Township of Southgate Official Plan.

2. Are the variances in keeping with the general intent and purpose of the Township of Southgate Zoning By-law?

The minor variance maintains the general intent and purpose of the Township of Southgate Zoning By-law. The subject lands are zoned Agricultural (A1), Agricultural Exception (A1-398) and Environmental Protection (EP) in the Township of Southgate Zoning By-law 19-2002. The proposed minor variance maintains the current zoning permissions, with an increase in built space in relation to the Industrial workshop, power room, office and



P.O. Box 246, STN MAIN
Collingwood, Ontario
L9Y 3Z5

705.446.1168
kristine@loftplanning.com
loftplanning.com

LOFT PLANNING

lunchroom and a decrease in permitted space related to the outdoor storage area. The built structural area would have a total area of 806 m². The variance maintains the general purpose and intent of the Zoning By-law.

3. Is the Application minor in nature?

The on-farm diversified use exists on an agricultural parcel of land with a lot area of 20.3 ha. The use exists and the proposal is to expand the existing use with an increase of the maximum combined workshop area by 56 sqm. The original zoning exception was for a workshop with an area of 750 sqm. The proposal will shift allowable outdoor storage, to become indoor usable space. The proposed variance is minor in nature.

4. Is the Application desirable for the appropriate development or use of the land, building, or structure?

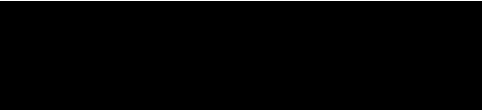
The proposed minor variance is desirable for the appropriate development of the subject lands. The variance would allow an increase of the maximum combined workshop. The use is existing and complies with the existing zoning. The proposed variance is desirable for the appropriate development of the land.

6.0 CONCLUSION

This planning letter has been prepared in support of a Minor Variance application. The Application maintains the four tests of a minor variance.

Respectfully Submitted,

LOFT PLANNING INC.



Kristine A. Loft, MCIP RPP
Principal

Figure 1 – Subject Lands
Figure 2 – Aerial
Figure 3 – Building Plans
Figure 4 – Site Plan

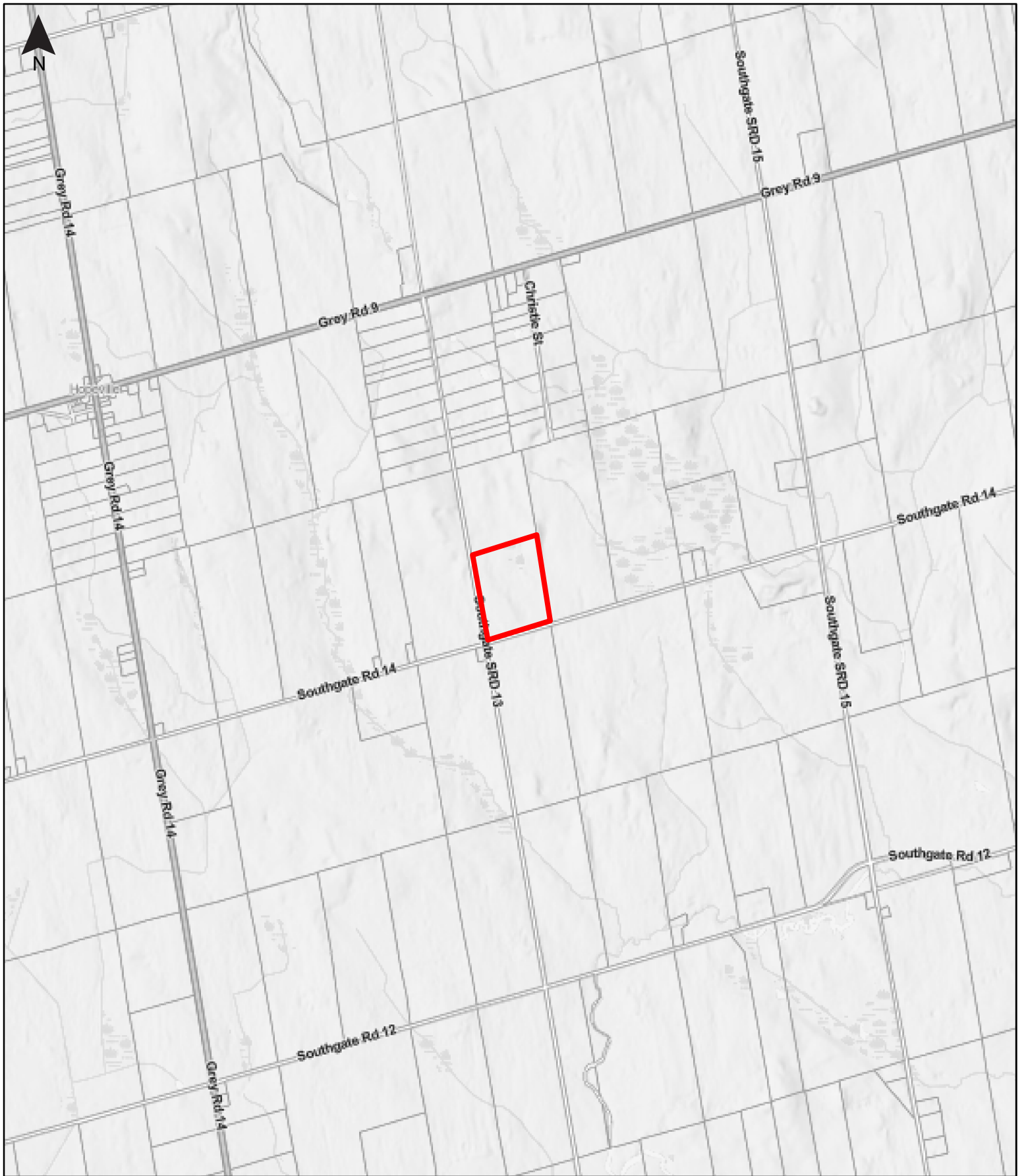


Figure 1
Location
132225 Southgate Road SRD 13
Township of Southgate

 Subject Lands

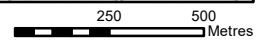
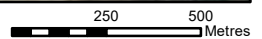




Figure 2
Aerial
132225 Southgate Road SRD 13
Township of Southgate

 Subject Lands



Structural Notes

1.0 General

- 1.1 All work shall conform to the Onatrio Building Code (OBC)
- 1.2 Notify the design engineer or the building inspector 48 hours in advance to schedule an inspection
 1. Prior to pouring footings
 2. Prior to pouring walls, after tying rebar.
 3. Before covering wood framing

2.0 Excavation And Backfill

- 2.1 Remove all topsoil and deleterious materials from below building and parking areas
- 2.2 Footings to be a minimum of 48 inches below grade
- 2.3 Excavate footings to sound subgrade capable of supporting a minimum 3000 psf allowable bearing
- 2.4 Fill required to bring areas to grade must be clean excavated material free from debris
- 2.5 Compact fill in 8 inches increments maximum to 98% SPD to within 6 inches of the underside of the floor
- 2.6 Compact the top 6 inches with granular 'A' to 100% SPD
- 2.7 Provide a minimum 2% positive slope away from the building

3.0 Concrete

- 3.1 All concrete shall comply with CSA-A23.1, CAN3-A23.2 and CAN3-A23.3 latest standards
- 3.2 The maximum aggregate size shall be 3/4 inch unless otherwise noted
- 3.4 The ultimate 28 day concrete compressive strength shall be not less than
 - Footings 25 MPa & 0.55 w/c
 - Foundation walls 25 MPa 0.50 w/c & 5-8 % air entrainment
 - Interior slabs on grade 25 MPa. 0.55 w/c 4-7 % air entrainment
- 3.5 Concrete slump shall be limited to 4 To 7''
- 3.6 Minimum cover on reinforcing bars unless noted on the drawings shall be
 - 3 inches for footings
 - 2 inches for foundation walls, slabs, and piers
- 3.7 Provide necessary protection to prevent concrete from freezing during curing
- 3.8 Reinforcing steel to be deformed bar with minimum yield strength of 400 MPa

4.0 Structural Steel

- 4.1 All structural steel design to conform to CAN3-S16 latest standard
- 4.2 Structural steel to conform to CSA G40.21 structural Quality Steel 300w
- 4.3 Anchor bolts to ASTM A307. latest standard
- 4.4 Bolts, washers and nuts to ASTM A325 High-Strength bolts for structural steel joints
- 4.5 welding electrodes to CSA W48 and W49
- 4.6 Provide bridging for steel joists in accordance with CSA CAN3-S16
- 4.7 Allowable live load deflection on joists to be limited to L/360 for roofs without a cieling
- 4.8 Holes for service penetrations in beam flanges are not acceptable. Holes in webs to be verified and reviewed by the engineer prior to drilling

5.0 Wood

- 5.1 All lumber unless otherwise noted to be No.1&2 SPF.
- 5.2 All wood exposed to concrete or noted on the drawings is to be pressure treated or sill gasget used
- 5.3 Framed walls shall be anchored to the foundation walls with 1/2'' diameter x 6'' long anchors at 5'-0'' o/c maximum
- 5.4 Ensure fasteners and metal connectors in contact with treated wood products are protected sufficiently to resist the corrosive properties of the preservative materials being used
Use hot dipped galvanized or stainless steel fasteners and connectors in these applications

1. The contractor shall verify all dimensions, levels, and data on site and report any discrepancies or omissions prior to construction

Project Engineer

Drawing #

Drawings For A

Proposed
OFFICE ADDITION

132225 Southgate Road 13

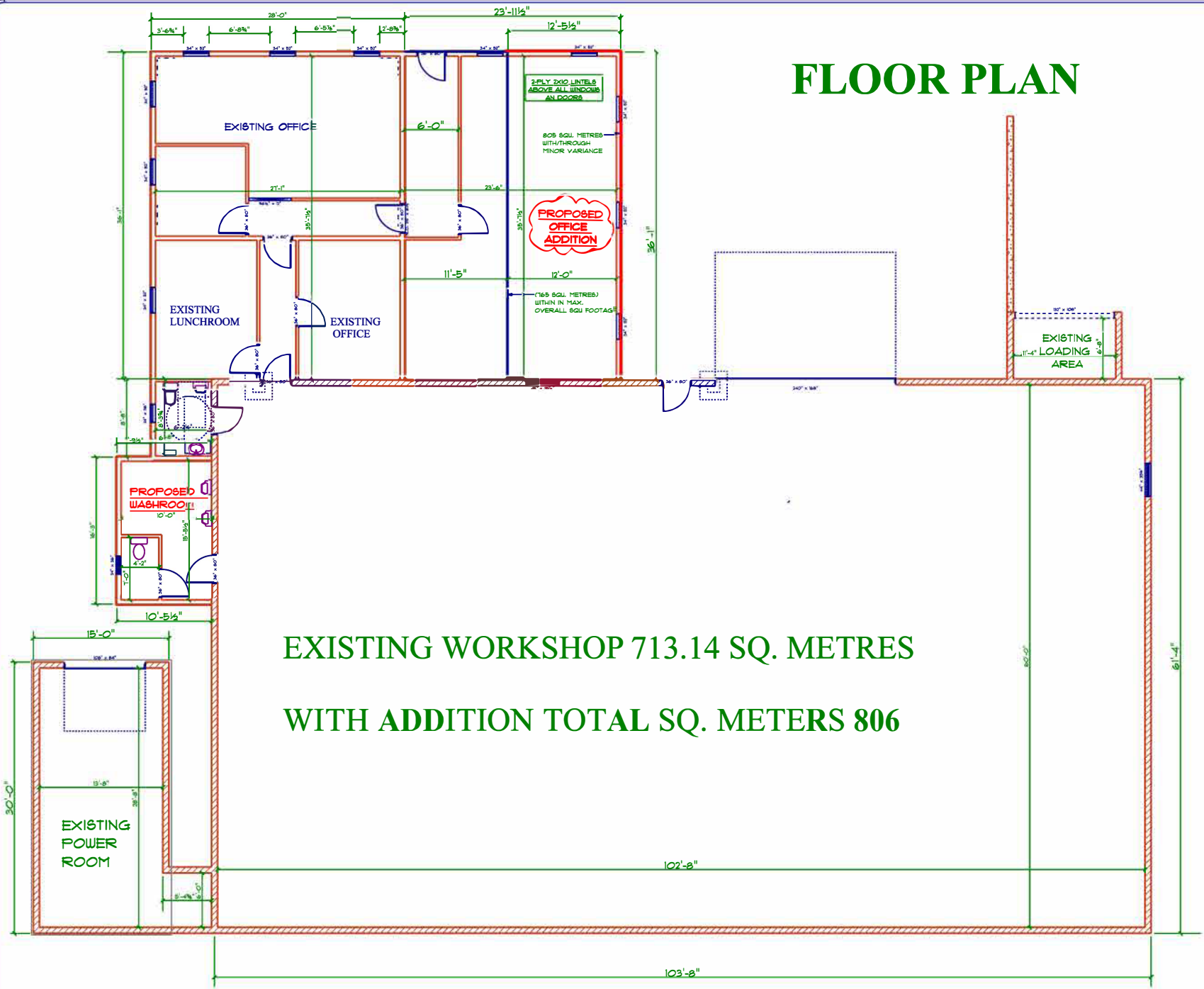
Dundalk ON NOC IBO

Aaron Martin

December 17, 2024

S-1

FLOOR PLAN



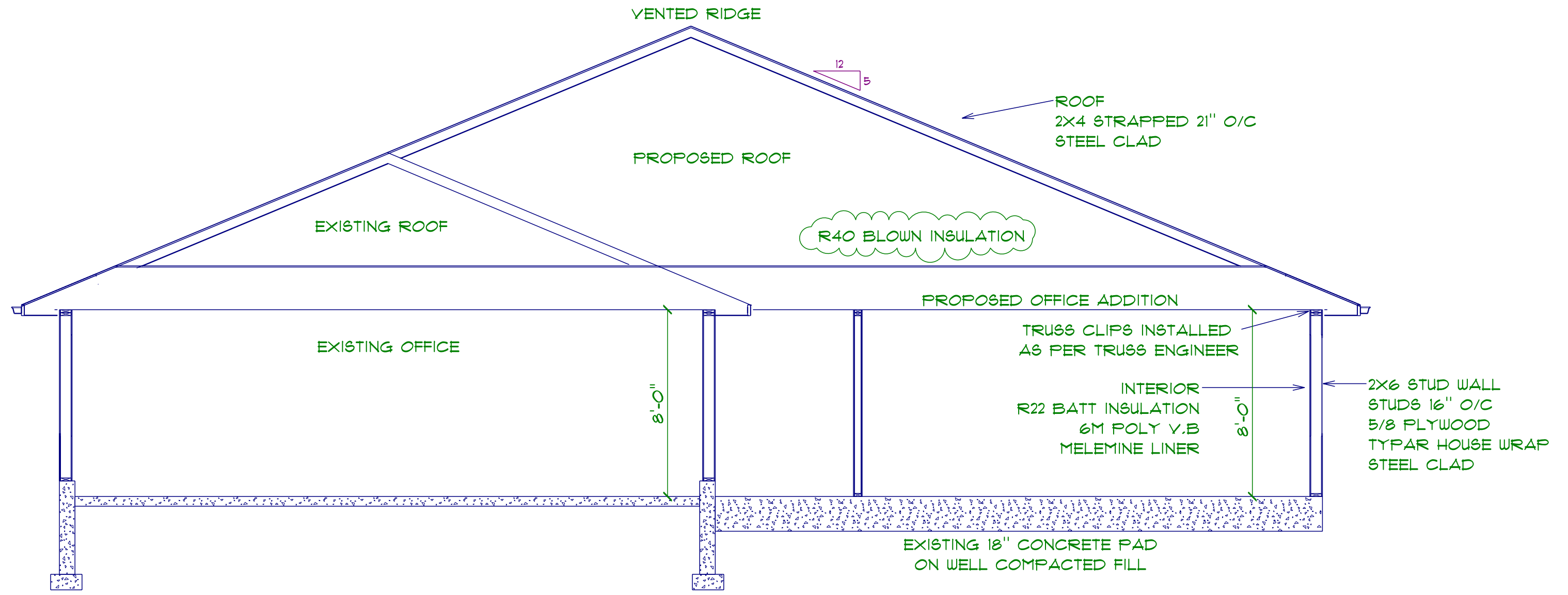
Aaron Martin
 132225 Southgate Road 13
 Dundalk ON N0C 1B0

██████████

DRAWN BY: SMM
 0.066" = 1'-0"

S-2 FLOORPLAN

ENGINEERED ROOF TRUSSES ABOVE
(DRAWINGS TO BE ON SITE)





EXISTING ROOF LINE

PROPOSED

PROPOSED

EXISTING

EXISTING ROOF LINE

PROPOSED

PROPOSED

EXISTING

EXISTING

EXISTING

PROPOSED

Aaron Martin
132225 Southgate Road 13
Dundalk ON N0C 1B0

DRAWN BY: SMM
0.161" = 1'-0"

S-4 VEIWS



SITE PLAN
 132225 Southgate Road SRD 13
 PT LT 18 CON 11 PROTON PT 3 17R3012; SOUTHGATE

SCALE: 1: 500
 NOT FOR CONSTRUCTION
 12/02/2025



LOFT PLANNING



SITE PLAN
 132225 Southgate Road SRD 13
 PT LT 18 CON 11 PROTON PT 3 17R3012; SOUTHGATE

SCALE: 1: 500
 NOT FOR CONSTRUCTION
 12/02/2025

