



The Corporation of the Township of Southgate Notice of the Passing of a Zoning By-law

Take notice that the Council of the Corporation of the Township of Southgate passed By-law No. 2024-050 on May 15, 2024, under Section 34 of the Planning Act, R.S.O. 1990, as amended.

This by-law applies to those lands known as Lot 1, Plan 480 BLK T, Geographic Village of Dundalk, in the Township of Southgate. A map showing the location of the lands to which the by-law applies is provided below.

The Purpose of the proposed bylaw rezones the lands to a site-specific Holding Residential 3 Zone with exceptions to allow Eight Back-to-Back Rental Townhouses or Eight Rental Townhouses with Amenity Space. The bylaw defines Townhouse Rental, Back-to- Back and Townhouse Rental, with Amenity Space. Building regulations for the rental townhouse uses include 44% maximum lot coverage, 5.75-meter front yard if amenity space is provided between rental buildings, required parking in an attached garage and in tandem on a hard surface driveway, a minimum 1.5-meter-high solid privacy fence or vegetative barrier along interior side lots lines, and others. Holding provisions are removed when a servicing agreement is signed to provide water, sanitary, storm and roadway access to the site, and lots combined into a one parcel.

The Effect of the zoning by-law amendment is to change the zoning symbol on the subject lands from Residential Type 2 Zone (R2) and a Residential Type 3 -Exception 290 to a Residential Type 3 Exception 559 Zone (R3-559) to permit Eight Back-to-Back Rental Townhouses or Eight Rental Townhouses with Amenity Space. Holding provisions and site-specific regulations and definitions are also proposed.

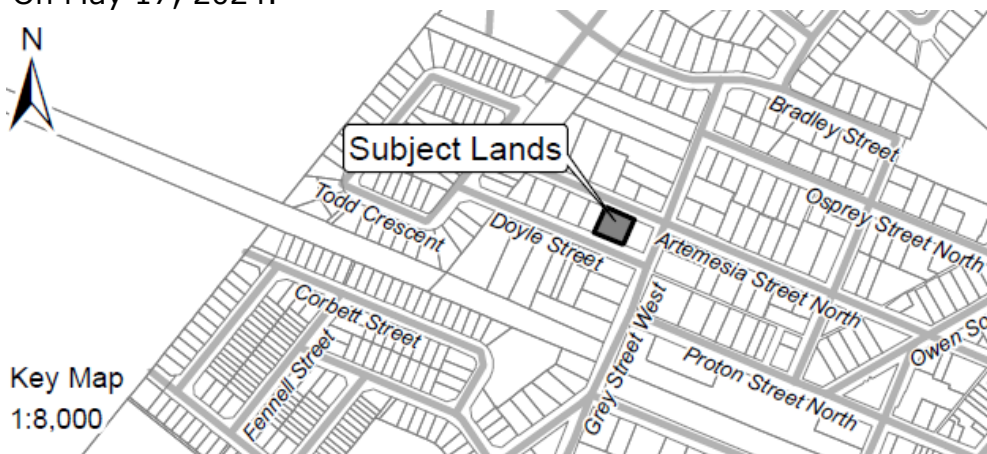
The property is designated Neighbourhood Area in the Township of Southgate Official Plan. The Council of the Township of Southgate has adopted this by-law and is now circulating it in accordance with Provincial regulations.

And take notice that any person or agency may appeal to the Ontario Land Tribunal in respect of the by-law by filing with the Clerk of the Corporation of the Township of Southgate, not later than **June 6, 2024**, a notice of appeal (appeal forms and instructions are available at: <https://olt.gov.on.ca/appeals-process/> setting out the objection to the by-law, the reasons in support of the objection and including a certified cheque or money order for \$300, made out to the Minister of Finance.

Only individuals, corporations and public bodies may appeal a zoning by-law to the Local Planning Appeal Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or the group on its behalf.

The Council of the Township of Southgate has adopted this by-law and is now circulating it in accordance with provincial regulations. The complete by-law is available for inspection in my office during regular business hours.

Dated at the Township of Southgate,
On May 17, 2024.



Key Map
1:8,000

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